



PLANNING COMMISSION MEETING

Thursday, August 18, 2022, 7:30 PM

CITY HALL

301 SYCAMORE STREET, BROOKVILLE, OHIO 45309

www.brookvilleohio.com

<https://brookvilleoh.webex.com/brookvilleoh/j.php?MTID=m267826e67fa9628afbe28914fc94e612>

Meeting number: 2633 029 3681 Password: 2rRbNJRpd53

Join by phone: 1-415-655-0001 Access code: 263 302 93681

Agenda

I. Opening

- a. Call to Order
- b. Pledge of Allegiance
- c. Roll Call

II. Adoption of Agenda

III. Approval of Minutes

- a. Approval of July 21, 2022 Meeting Minutes

IV. BH Devco, LLC - Preliminary Subdivision & Site Plan Approval

V. Harper Creek - Final Subdivision & Development Plan Approval

VI. Brookville Express, 237 Market Street - Special Use Application for Drive-Thru Window

VII. Reports

- a. Law Director

VIII. Old Business

IX. New Business

X. Adjournment

Chairperson Ryan Henderson • Mayor Chuck Letner

Members: • Ken Claggett • Don Cordes • Ronda Dittrick • Curt Schreier

Brookville Planning Commission
Regular Meeting
July 21, 2022

The Regular Meeting of the Brookville Planning Commission was called to order by Chairperson Henderson at 7:30 p.m. on July 21, 2022. The meeting was held in the City Council Chambers and virtually using Webex. The Pledge of Allegiance was recited. Mayor Letner; Members Cordes, Dittrick, Schreier and Sievers; Law Director/Development Specialist Stephan, Manager Keaton and Clerk Duncan were present. Member Claggett attended virtually.

Roll call by Clerk Duncan.

Motion by Sievers, second by Cordes to adopt the Agenda as presented. All yeas, motion carried.

Motion by Schreier, second by Dittrick to approve the minutes of the June 16, 2022 Planning Commission Meeting. All yeas, motion carried.

Chairperson Henderson announced Planning Commission will be reviewing a Special Use and Preliminary Plat Plan for the proposed Meadowlark Subdivision, west of Meadow Glen Drive.

Law Director Stephan inquired whether any Planning Commission Members need to abstain from voting on this issue?

Member Sievers indicated she needs to abstain.

Law Director Stephan reported an application has been filed by Grand Communities, LLC. for a Preliminary Subdivision approval and Special Use approval for the Meadowlark Subdivision, located on 21.801 acres to the west of Meadow Glen Drive on part of County Auditor Parcel COS 00314 0020. This property is zoned R-3 Multi-Family Residential District. This housing project will create 111 lots for paired patio homes. The lots will be designed for zero lot line single family residences to be constructed with a common wall between the residences. The covenants and restrictions for the project will provide for maintenance of the common areas of the zero lot line residences. The Special Use application and Preliminary Plat includes some proposed modifications of required setbacks for zero lot line residences. In Section 1163.03 (b)(38), the standards for zero lot line residences are set forth. Law Director Stephan provided the following comparison of the standards in 1163.03(b) (38) and the proposed standards for this project:

1163.03 {b}(38) Standards:	Proposed Project Standards:
Minimum Lot Area: 3500 sq. ft. per lot	3910 sq. ft. per lot
Minimum Lot Width: 40 ft.	34 ft.
Minimum Front Yard Setback: 10 ft.	25 ft.
Minimum Side Setback-none but 20' between buildings	5' setback and 10' between buildings
Minimum Rear Yard Setback-none but 20' between buildings	20' setback and 40' between buildings
Maximum Height-35ft, of 2 ½ stories	2 stories
Maximum lot coverage-75 percent of lot area	56 percent of lot area

Law Director Stephan advised Planning Commission is specifically authorized under 1105.03 (c) to modify frontage, setback, and building size requirements. Law Director Stephan requested that Planning Commission specifically approve the modified setbacks requested by the applicant for this project. It is also requested that Planning Commission approve the Preliminary Plat for Meadowlark Subdivision and the Special Use Application for zero lot line residences on the lots with the modified setbacks specified on the Preliminary Plat.

Robert Hayes, of Grand Communities, 3940 Olympic Boulevard, Suite 400, Erlanger, Kentucky, 41018, advised his company is a development arm for Fischer Homes. Mr. Hayes gave a Power Point presentation of the proposed Meadowlark Subdivision. Mr. Hayes stated the paired patio homes are ranch products, starting at 1,100 square feet per unit on one floor, designed for young professionals and empty nesters. The paired townhomes have similar square footage but are two stories with a shared wall and maintenance provided by a Homeowners Association (HOA).

Member Cordes asked if there is a common overhead or does the wall go all the way through to the roof?

Mr. Hayes replied the wall goes all the way to the roof.

Mayor Letner inquired what the ratio is of each home style in this development?

Mr. Hayes replied that would be determined by the market sales.

Member Schreier commented the Hudson model in their packet shows designs with 1,657 square feet.

Jennifer Gonzales, of Fischer Homes, replied the Hudson is 1,657 square feet on both sides. The paired ranch design starts at 1,100 square feet with an optional loft that can make it two stories.

Mayor Letner asked if all of them are slab homes?

Ms. Gonzales stated that is correct.

Member Dittrick asked if there will be an HOA?

Mr. Hayes replied that is correct. The HOA will be responsible for the exterior building maintenance and maintenance of the yards.

Mayor Letner inquired if the city will be responsible for street maintenance and plowing snow?

Jeff Puthoff, of Choice One Engineering, replied the streets will be public city streets.

Mayor Letner asked what type of streetlights will be installed and if the wiring will be underground?

Mr. Hayes replied the light poles will be metal, with underground wiring.

Member Schreier asked if the homes are marketed as starter homes or finisher homes? He stated he is wondering how the steps will mesh with the older population.

Ms. Gonzales advised they build the model the customer selects, and then the other side has equivalent features and becomes a spec home which can be purchased by a future customer.

Member Schreier stated he is concerned about the noise from the interstate, as there is no buffer in the back. He stated he wonders how that will impact who will purchase the property.

Mr. Puthoff advised the intent is to keep as much of the tree buffer as possible to reduce the noise.

Chairperson Henderson inquired about sanitary and water capacity in the area?

Mr. Puthoff replied both are in good shape. Ideally, when the Bruns development is complete it would be nice to loop the water line to the south.

Chairperson Henderson asked what the proposed build out is for the phases?

Ms. Gonzales estimated five to six years.

Member Schreier asked for confirmation of the number of lots and units?

Ms. Gonzales replied there are 55 building lots and 111 units.

Chairperson Henderson commented they have done a good job maximizing the location and aligning one of the roadways with Caleb Drive in case there is an opportunity to extend the roadway through at some time. Chairperson Henderson stated he is a little concerned about the spacing between the buildings which is very close together.

Member Schreier stated the proposed side setbacks are still 11-12 feet short of the combined standards of width in our code. Member Schreier stated this increases the density and wondered how many units they would sacrifice if they met our current standards? Member Schreier asked if the approval process will also include a Public Hearing?

Law Director Stephan replied a Public Hearing can be scheduled under Special Use, but typically we have not had a Public Hearing for a Preliminary Plat. The developer will be coming back with a Final Plat Plan and construction drawings that would be consistent with what Planning Commission approves tonight. The approval tonight will be for the Preliminary Plat and the Special Use approval for the zero lot line residences with the modified setbacks specifically listed on the Preliminary Plat Plan. Law Director Stephan stated in some cases the setbacks are exceeding the standard but there are a couple of areas where they are below the standards.

Member Schreier stated the setbacks are exceeding the standards in the front and back where you will not really see it when you are driving by. The width tends to be more of what you will notice from the street.

Mayor Letner pointed out that during snow events there will be nowhere to put snow except in someone's driveway.

Member Schreier asked if the streets widths are the standard 31 feet?

Mr. Puthoff replied that is correct.

Law Director Stephan advised the Fire Chief has reviewed the Preliminary Plat Plan and has no concerns in terms of ingress and egress. There are challenges in terms of terrain, but the long-term plan would be to connect with Caleb Drive which would provide a second ingress and egress into the site.

Mr. Puthoff stated ten feet between buildings is standard anymore.

Mayor Letner stated this lot is conducive to that standard of spacing.

Motion by Letner, second by Dittrick to approve the Meadowlark Subdivision Preliminary Plat Plan and Special Use Application for zero lot line residences with the modified setbacks as presented. Cordes yea, Sievers abstained, Letner yea, Schreier nay, Dittrick yea, Claggett nay, Henderson yea. Motion carried with four yeas, two nays and one abstention.

Chairperson Henderson announced the next item is a Final Recommendation on proposed Ordinance No. 2022-04, which amends the zoning classification of part of Lot 2222 from its present classification of HS, Highway Service, to the new classification of I-2, General Industrial district. A Public Hearing was held for this rezoning on July 19, 2022.

Member Schreier stated one of the biggest things discussed at the Public Hearing was the aesthetics from the north and the west. The developer is to include buffers as part of the approved final plan.

Mayor Letner commented the other item discussed was stormwater runoff.

Chairperson Henderson advised the residents in attendance brought up some good points that are addressable with the survey. The survey will show tributary areas, watershed and run-off. The build out of the site is likely going to improve that dramatically. The runoff will be moved and the residents who are experiencing runoff will likely not experience as much. It is important that the current pond that gets filled by some of the watershed on this property continues to get enough watershed on the north side of the roadway to continue to fill it. Chairperson Henderson advised noise is also a concern of several residents, but with the landscape buffer that will be added there may be less noise than the residents currently experience. Chairperson Henderson stated we cannot control the truck beeping. In general, the proposed development is a good

application for this property next to the interstate, and all the concerns can be addressed through proper design. It is important to address everything we heard from our citizens.

Mayor Letner agreed, stating it was nice to hear from the citizens and all voices should be heard. This proposed development utilizes this space better than he has ever seen. It is by the highway and not encroaching on housing.

Member Schreier stated he was encouraged that two of the buildings were sacrificed in order to add detention. It shows that the developer is willing to do this right.

Chairperson Henderson stated that the developer's offer to meet with our citizens is really unheard of and he appreciates that.

Member Claggett asked in the event of an extreme rain event, do the retention ponds drain into Wolf Creek?

Chairperson Henderson replied that is correct.

Motion by Cordes, second by Schreier to recommend approval to City Council of proposed Ordinance No. 2022-04 to amend the zoning classification of part of lot 2222 from its present classification of HS, Highway Service, to the new classification of I-2, General Industrial district. All yeas, motion carried.

Law Director Stephan presented the Zoning Permit report for the month of June, stating he has issued quite a few accessory use permits as well as some zoning permits for new home builds in the Meadows of Brookville and in Hunters Run.

Law Director Stephan reported he has met with the owners of the former K's Restaurant location and found they are unable to get a liquor permit for that location. After speaking with the Board of Elections and reviewing the Division of Liquor Control's analysis of the County records related to elections in Brookville, he found the site is considered dry under State of Ohio Law. Because that property was annexed into Brookville after 1933, there must be a specific election in that precinct or for that specific property for a liquor permit to be issued to a particular property. Law Director Stephan advised he has been working with the new owners to get this issue on the ballot in November and hopefully secure a liquor permit for their site and to also allow them to have Sunday alcohol sales. Law Director Stephan advised to get this on the ballot for voters within Brookville Precinct B, 250 signatures are needed. There will be people circulating petitions and citizens in Precinct B should sign the petition if they want to see a Mexican restaurant in Brookville.

Member Claggett inquired if anything is happening with Mike Gassaway's old property on the corner of Wolf Creek Street and Main Street?

Law Director Stephan replied the city is still working through the legal process to get the building removed.

Chairperson Henderson thanked Member Sievers for serving on Planning Commission, stating it has been a pleasure and wished her the best of luck.

Mayor Letner and Member Schreier also thanked Member Sievers for her service.

Motion by Cordes, second by Schreier to adjourn. All yeas, motion carried.

Kimberly Duncan, Clerk

Ryan Henderson, Chairperson

MEMORANDUM:

DATE: AUGUST 12, 2022

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

RE: APPLICATION FOR PRELIMINARY SUBDIVISION AND SITE PLAN APPROVAL

BH Devco, LLC has submitted an application for preliminary subdivision and site plan approval. A copy of the application and plan that have been filed are submitted to Planning Commission with this application. The plan will provide for three building sites on property north of the electric utility easement in the area that is now zoned I-2, and one building site south of the electric utility easement in the area that currently remains zoned HS. The application does request Planning Commission to approve certain modifications to site development regulations. I have attached a list of the proposed site regulation variances.

Approval of this preliminary subdivision and site plan will be subject to final subdivision and site plan approval by Planning Commission and City Council, and the developer shall be required to submit a final plan consistent with this preliminary plan and any recommendations of the City Staff and City Engineer.



Dear Mr. Stephan,

This letter is to request the variances needed for the Master Planned Industrial project at 7590 Arlington Rd. The purpose of these variances is to allow the flexibility for users and companies needing variances withing their building requirements that are inconsistent with the Planning & Zoning Code. The four variance request are as follows:

- **Building Height:** Per P. & Z. 1145.03.46c, the maximum building height is 45 feet. **We request a variance to state that the maximum building height for the Master Plan be 100 feet.**
- **Yard Requirements:** Per P. & Z. 1145.03.44, the minimum setback requirement for rear and side yard shall be "two (2) times the height of the principal building". **We request a variance to state the setback requirement on all rear and side yards to 100 feet (with no consideration to building height).**
- **Auto Parking Screening:** Per P. & Z. 1159.03.a.3.B, "all open vehicle parking areas containing more than ten (10) parking spaces shall be effectively screened on each side which adjoins or faces premises situated in any residential district..." We request a variance deeming this section not applicable due to the landscape buffer we already have planned along the northern property line. This landscaping plan is included in the submission.
- **Site Lighting Height:** Per P. & Z. 1159.03.a.3.D, "the source of illumination in all parking lots abutting a residential area shall not be more than sixteen (16) feet above the parking lot surface." As with the previous section, **we request a variance to state that our source of illumination shall not be more that 35' above the parking lot surface.**

Thank you for your consideration of the above variance requests.

Municipality of Brookville

Application #PR "A Proud and Progressive Community"

ZONING APPLICATION FOR A MAJOR (PRELIM) SUBDIVISION PERMIT

The undersigned hereby applies for a MAJOR (PRELIMINARY) SUBDIVISION PERMIT to be issued solely on the basis of information contained herein, and with the knowledge that the falsification of any fact or statement submitted with, or within, this application shall render this application null and void.

1. Applicant BH DevCo, LLC
2. Applicant address: 2425 E Camelback Rd, Suite 220 Phoenix, AZ 86016
3. Phone (Hm) _____ (Bus) 858-334-9686 Interest in property C05-00616-0001, C05-00616-0002, C05-00616-0003
4. Location or address of property to be affected C05-00615-0001, C05-00506-0008
5. Legal description See attached survey

6. Present Zoning classification I-2 Existing use Agriculture

7. In order to be processed for a MAJOR (PRELIMINARY) SUBDIVISION PERMIT, the Subdivider shall prepare and submit six (6) copies of the preliminary plat of the proposed subdivision and construction plans along with a completed preliminary plat checklist with remarks to the Planning Commission.

(a) The preliminary plat shall be considered officially filed on the day it is received and properly noted and shall be so dated.

(b) The preliminary plat shall not be considered properly submitted until all applicable fees are paid by the developer.

(c) All plats and plans are provided to the Municipal Office.

(d) The subdivider shall provide a copy of the preliminary plat to the local utility companies.

8. The preliminary plat shall be clearly and legibly drawn. The size of the drawing shall not be less than 24" x 36". If the preliminary plat is to be drawn in sections, each section shall be accompanied by a key map, showing the location of the sections. The plat of a subdivision containing five (5) acres or less shall be drawn to a scale of 1" = 50'. All other subdivisions shall be drawn to a scale of 1" = 100'.

9. The preliminary plat shall clearly show the following features and information:

(a) Items of Title.

(1) Proposed name of subdivision. The name of the subdivision and proposed streets shall not duplicate, or too closely approximate, the name of any other subdivision or street, subject to Planning Commission approval.

(2) Location by numerically labeled inlet or outlet.

(3) Name and address of property owner/developer.

(4) Scale of plat.

(5) North arrow.

(6) Name and address of the professional surveyor who prepared the plat, as well as the stamp and signature of the surveyor certifying the accuracy of the plat.

(7) Date of preparation.

(8) Location by section, town, range, or by other legal description.

(9) Signature and date line for the Planning Commission Chairperson.

(10) Stamp and signature of the Professional Surveyor.

(b) Existing Site Conditions/characteristics.

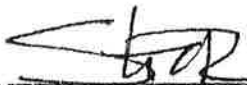


- (1) Perimeter boundaries of the proposed subdivision indicated by a heavy solid line, and the approximate acreage comprised therein.
 - (2) Location, widths and names of existing or planned streets, indicated as to: dedicated, undedicated, constructed or unimproved, official thoroughfares or other public ways, railroad and utility rights-of-way, easements, parks and other open spaces, permanent buildings, section and corporation lines within or adjacent to the subject tract.
 - (3) Location and size of all existing utilities: sewers, water mains, telephone, electric, gas, culverts or other underground items located within or adjacent to the subject tract.
 - (4) Names of adjacent subdivisions and owners of adjoining parcels.
 - (5) Topographic map of such proposed subdivision shall be submitted with the preliminary plat, showing 1-foot contour intervals for all land within 50 feet adjacent to the subject site.
 - (6) Current Zoning classification of the tract and adjoining properties.
 - (7) The vicinity map shown on the preliminary plat.
- (c) Proposed Site Conditions/characteristics.
- (1) Street layout, including street names and widths, alleys, cross-walkways and easements and their dimensions.
 - (2) Layout, numbers and approximate dimensions of lots, including lot area (as measured in acres or square feet).
 - (3) Parcels of land intended to be dedicated or temporarily reserved for public use, and the conditions of such dedication or reservation.
 - (4) Setback lines, along all streets, with dimensions.
 - (5) Indication of the proposed zoning designation to identify the potential development so as to reveal the nature of the impact the proposal will have on traffic flow, fire hazard, congestion, public utility capacities and required services.
 - (6) A typewritten copy of the protective covenants or deed restrictions, if any.
 - (7) Indication of any developmental phasing or staged development timing.
- (d) Construction Plans. The proposed preliminary subdivision plat shall be accompanied by preliminary construction plans consisting of:
- (1) A centerline profile for each street shown thereon, drawn to scale of at least 1" = 100'.
 - (2) A preliminary layout, drawn to scale of at least 1" = 100', including proposed placement of water lines, sanitary sewers and storm sewers. These may be incorporated in the above preliminary plat.
 - (3) A preliminary drainage plan including proposed storm detention location. This may be incorporated in the above preliminary plat.
 - (4) All plans must be certified by a registered professional engineer.

10. The approval of the preliminary shall be effective for a maximum period of twelve (12) months unless the first section has been filed for final approval. If no subsequent sections are filed within two (2) years from the recording of the previous sections, the approval of the remainder of the preliminary plat is no longer effective. The terms under which the approval is granted will not be affected by changes to these Regulations during the maximum period of twelve (12) months.

8/4/22

Application Date

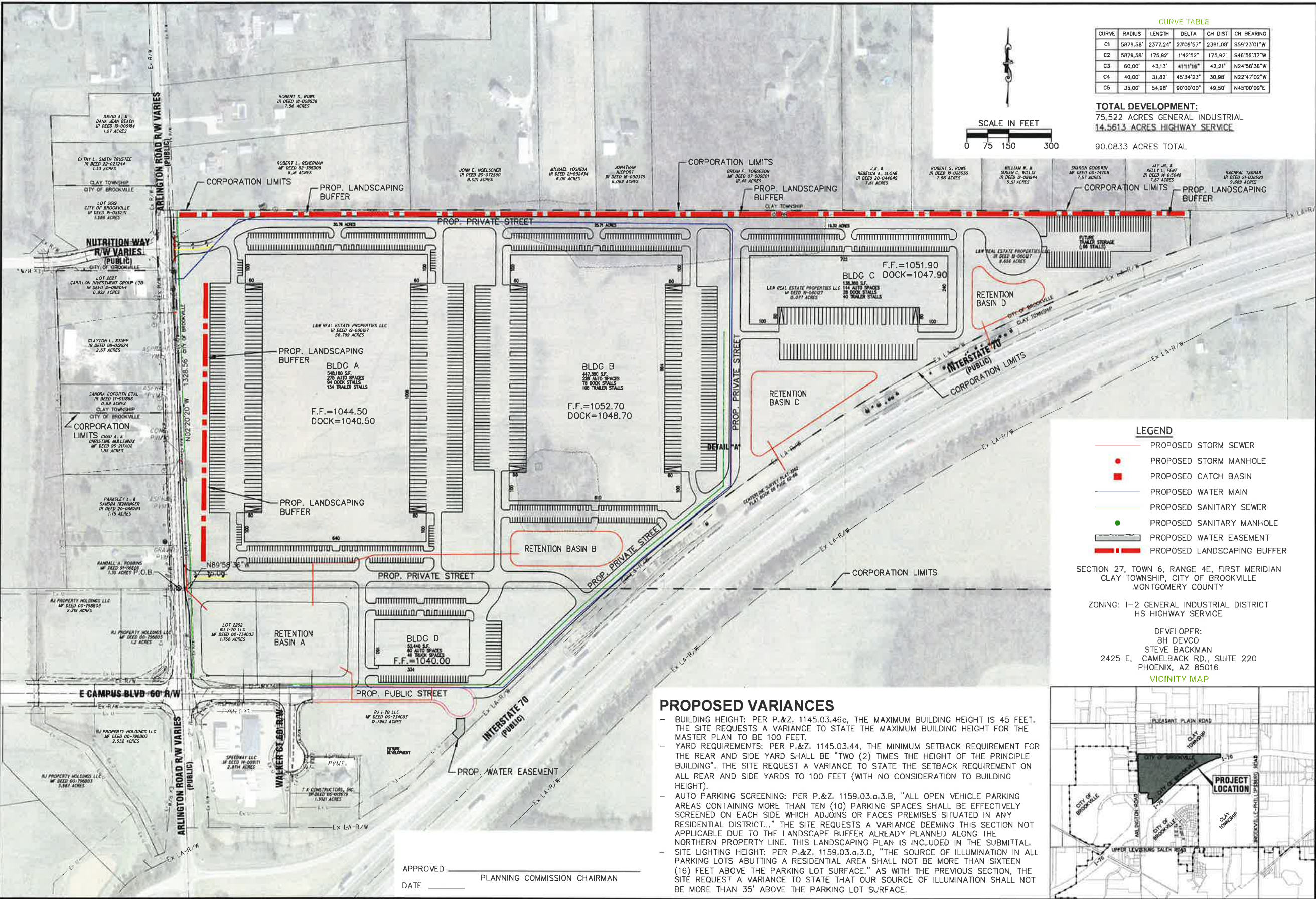
 MANAGER
Signature of Applicant

OFFICE USE BELOW LINE

Appr/Denied Planning Commission _____ Date _____

Appr/Denied Municipal Manager _____ Date _____

Fee _____ Receipt number _____ Date _____
(NON-REFUNDABLE) (NEW YORK)



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CH DIST	CH BEARING
C1	5879.58'	2377.24'	23°08'57"	2361.08'	S59°23'01"W
C2	5879.58'	175.92'	1°42'52"	175.92'	S46°56'37"W
C3	60.00'	43.13'	41°11'16"	42.21'	N24°58'36"W
C4	40.00'	31.82'	45°34'23"	30.98'	N22°47'02"W
C5	35.00'	54.98'	90°00'00"	49.50'	N45°00'09"E

TOTAL DEVELOPMENT:
75,522 ACRES GENERAL INDUSTRIAL
14,5613 ACRES HIGHWAY SERVICE
90.0833 ACRES TOTAL

- LEGEND
- PROPOSED STORM SEWER
 - PROPOSED STORM MANHOLE
 - PROPOSED CATCH BASIN
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY MANHOLE
 - PROPOSED WATER EASEMENT
 - PROPOSED LANDSCAPING BUFFER

SECTION 27, TOWN 6, RANGE 4E, FIRST MERIDIAN
CLAY TOWNSHIP, CITY OF BROOKVILLE
MONTGOMERY COUNTY

ZONING: I-2 GENERAL INDUSTRIAL DISTRICT
HS HIGHWAY SERVICE

DEVELOPER:
BH DEVCO
STEVE BACKMAN
2425 E. CAMELBACK RD., SUITE 220
PHOENIX, AZ 85016
VICINITY MAP



PROPOSED VARIANCES

- BUILDING HEIGHT: PER P.&Z. 1145.03.46c, THE MAXIMUM BUILDING HEIGHT IS 45 FEET. THE SITE REQUESTS A VARIANCE TO STATE THE MAXIMUM BUILDING HEIGHT FOR THE MASTER PLAN TO BE 100 FEET.
- YARD REQUIREMENTS: PER P.&Z. 1145.03.44, THE MINIMUM SETBACK REQUIREMENT FOR THE REAR AND SIDE YARD SHALL BE "TWO (2) TIMES THE HEIGHT OF THE PRINCIPLE BUILDING". THE SITE REQUEST A VARIANCE TO STATE THE SETBACK REQUIREMENT ON ALL REAR AND SIDE YARDS TO 100 FEET (WITH NO CONSIDERATION TO BUILDING HEIGHT).
- AUTO PARKING SCREENING: PER P.&Z. 1159.03.a.3.B, "ALL OPEN VEHICLE PARKING AREAS CONTAINING MORE THAN TEN (10) PARKING SPACES SHALL BE EFFECTIVELY SCREENED ON EACH SIDE WHICH ADJOINS OR FACES PREMISES SITUATED IN ANY RESIDENTIAL DISTRICT..." THE SITE REQUESTS A VARIANCE DEEMING THIS SECTION NOT APPLICABLE DUE TO THE LANDSCAPE BUFFER ALREADY PLANNED ALONG THE NORTHERN PROPERTY LINE. THIS LANDSCAPING PLAN IS INCLUDED IN THE SUBMITTAL.
- SITE LIGHTING HEIGHT: PER P.&Z. 1159.03.a.3.D, "THE SOURCE OF ILLUMINATION IN ALL PARKING LOTS ABUTTING A RESIDENTIAL AREA SHALL NOT BE MORE THAN SIXTEEN (16) FEET ABOVE THE PARKING LOT SURFACE." AS WITH THE PREVIOUS SECTION, THE SITE REQUEST A VARIANCE TO STATE THAT OUR SOURCE OF ILLUMINATION SHALL NOT BE MORE THAN 35' ABOVE THE PARKING LOT SURFACE.

APPROVED _____
DATE _____ PLANNING COMMISSION CHAIRMAN

Choice One
Engineering

SIDNEY, OHIO 937.407.0020
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

BH DEVCO - BROOKVILLE INDUSTRIAL
CITY OF BROOKVILLE
PRELIMINARY SITE CONCEPT

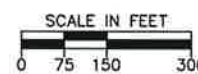
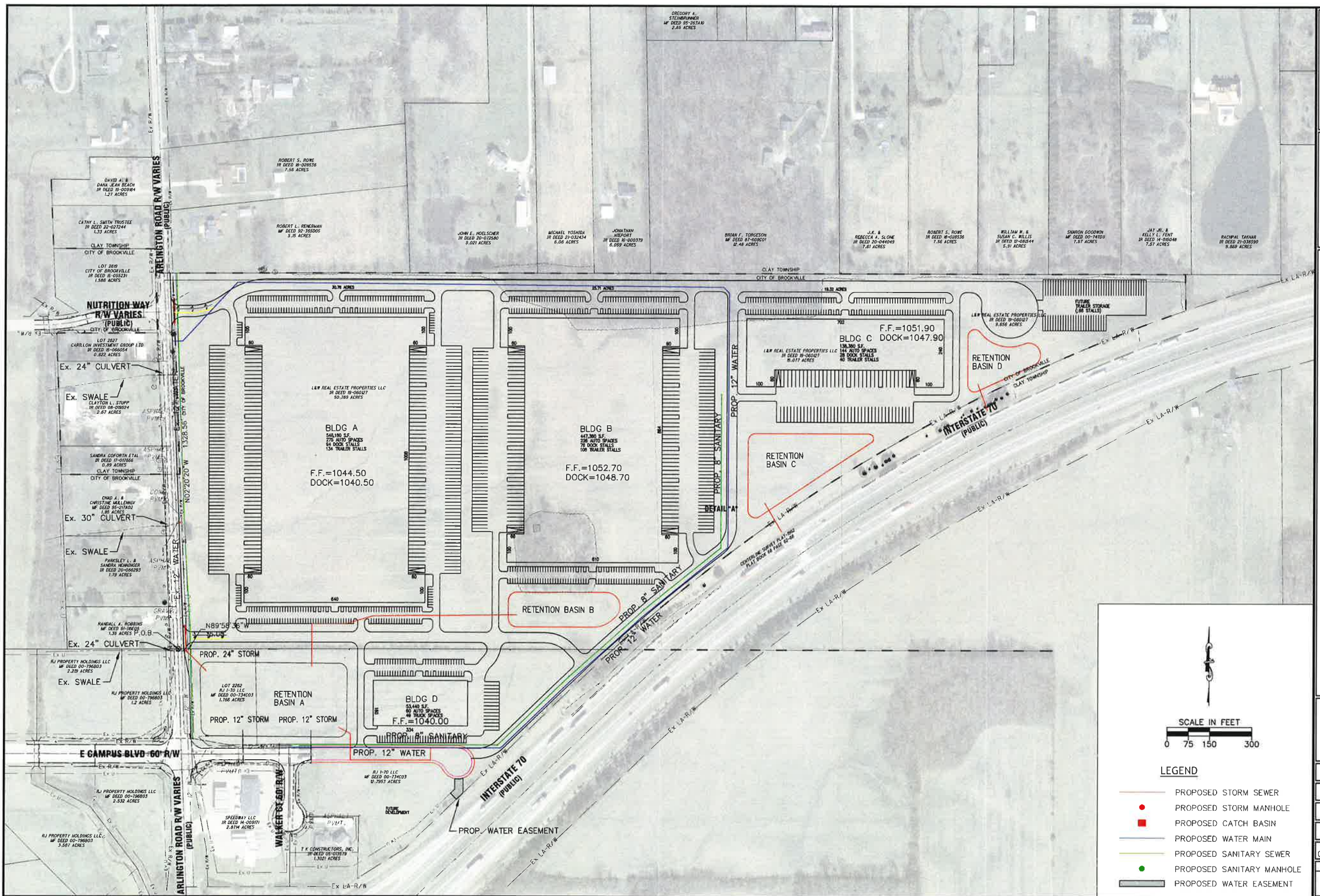
REVISIONS:

FILE NAME	CONCEPT
DRAWN BY	ZEB
CHECKED BY	RJL
PROJECT NO.	MOTBR02214
DATE	08-12-2022
SHEET NUMBER	1 OF 9

BH DEVCO - BROOKVILLE INDUSTRIAL
CITY OF BROOKVILLE
PRELIMINARY UTILITY PLAN

REVISIONS:

FILE NAME	UTILITY
DRAWN BY	ZEB
CHECKED BY	RJL
PROJECT No.	MOTBRO2214
DATE	08-12-2022
SHEET NUMBER	2 OF 9



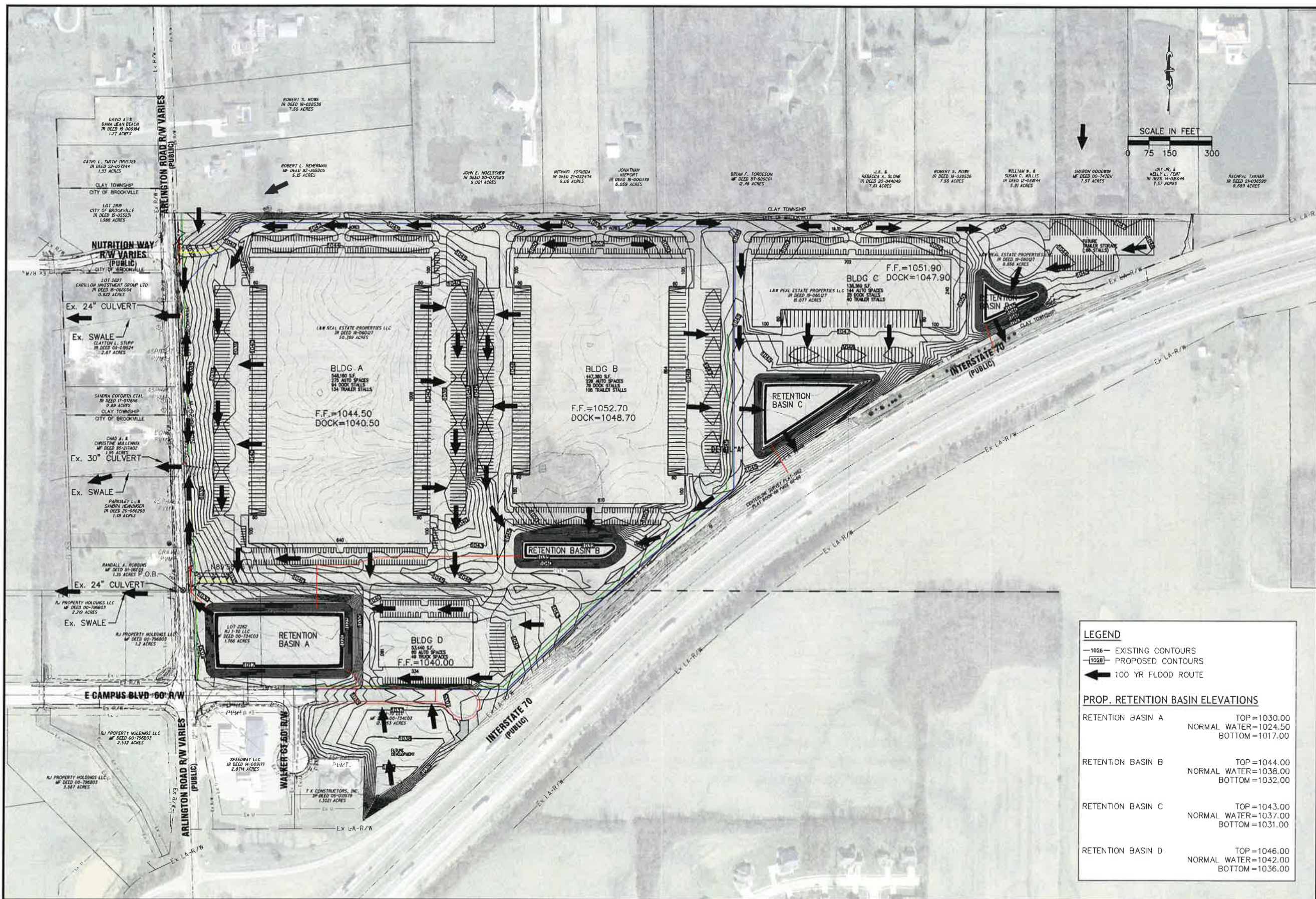
LEGEND

- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER EASEMENT

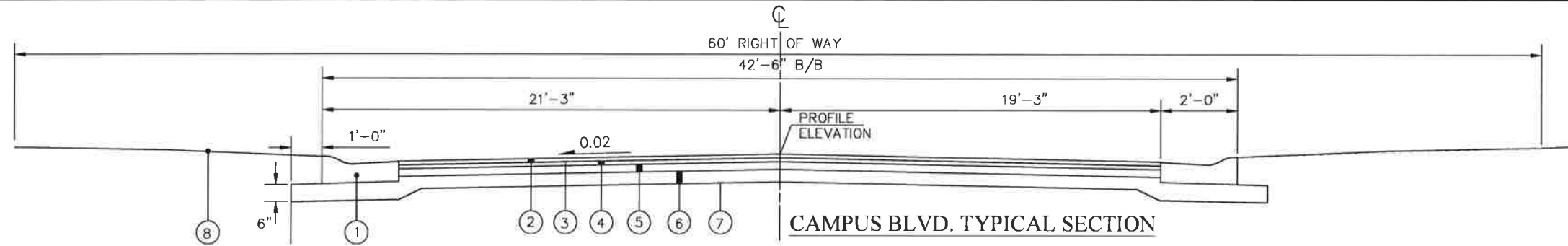
BH DEVCO - BROOKVILLE INDUSTRIAL
CITY OF BROOKVILLE
PRELIMINARY GRADING PLAN

REVISIONS:

FILE NAME	GRADING
DRAWN BY	ZEB
CHECKED BY	RJL
PROJECT No.	MOTBRO2214
DATE	08-12-2022
SHEET NUMBER	



LEGEND	
—1026—	EXISTING CONTOURS
—1028—	PROPOSED CONTOURS
←	100 YR FLOOD ROUTE
PROP. RETENTION BASIN ELEVATIONS	
RETENTION BASIN A	TOP=1030.00 NORMAL WATER=1024.50 BOTTOM=1017.00
RETENTION BASIN B	TOP=1044.00 NORMAL WATER=1038.00 BOTTOM=1032.00
RETENTION BASIN C	TOP=1043.00 NORMAL WATER=1037.00 BOTTOM=1031.00
RETENTION BASIN D	TOP=1046.00 NORMAL WATER=1042.00 BOTTOM=1036.00



LEGEND - CAMPUS BLVD. TYPICAL SECTION

- ① ITEM 609, COMBINATION ROLL CURB AND GUTTER, TYPE 1
- ② ITEM 441, 1-1/4" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (449), PG 64-22
(TO BE APPLIED ON STREETS 9 MONTHS AFTER ITEM 441, INTERMEDIATE COURSE)
- ③ ITEM 407, NON-TRACKING TACK COAT (NEW ASPHALT 0.06 GAL/SY), (OXIDIZED 0.09 GAL/SY)
- ④ ITEM 441, 1-3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (449)
- ⑤ ITEM 301, 3" ASPHALT CONCRETE BASE, PG64-22
- ⑥ ITEM 304, 8" AGGREGATE BASE (2-4" LIFTS)
- ⑦ ITEM 204, SUBGRADE COMPACTION
- ⑧ ITEM 659, SEEDING & MULCHING, TYPE 1

REVISIONS:

FILE NAME
CAMPUS BLVD

DRAWN BY
ZEB

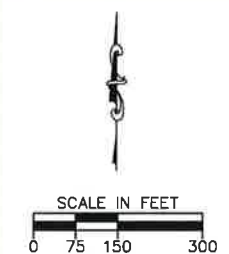
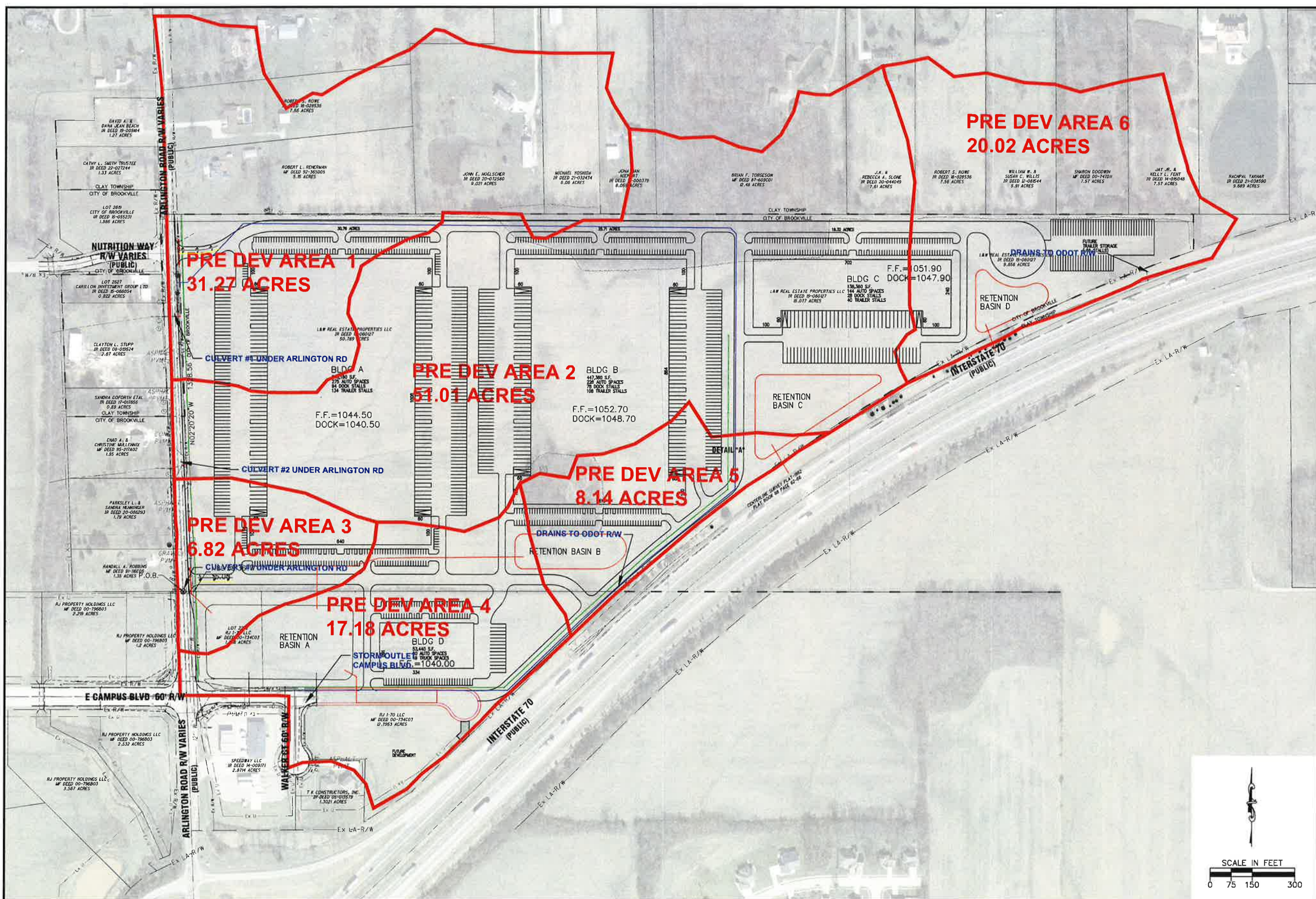
CHECKED BY
R.J.L

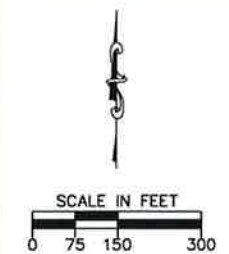
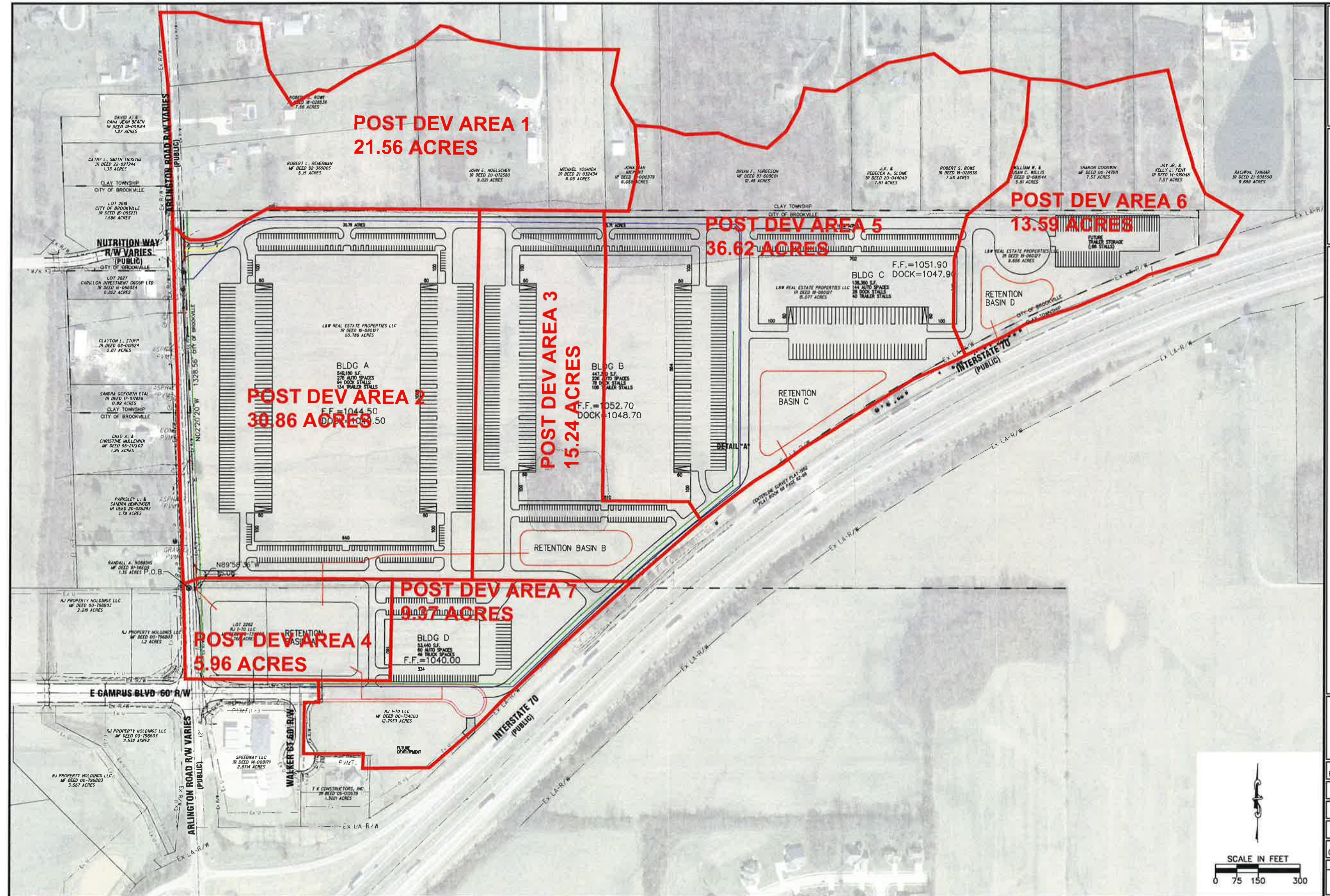
PROJECT No.
MOTBR02214

DATE
08-12-2022

SHEET NUMBER

4 OF 9





BH DEVCO - BROOKVILLE INDUSTRIAL
CITY OF BROOKVILLE
LANDSCAPE

REVISIONS:

FILE NAME
LANDSCAPE

DRAWN BY
ZEB

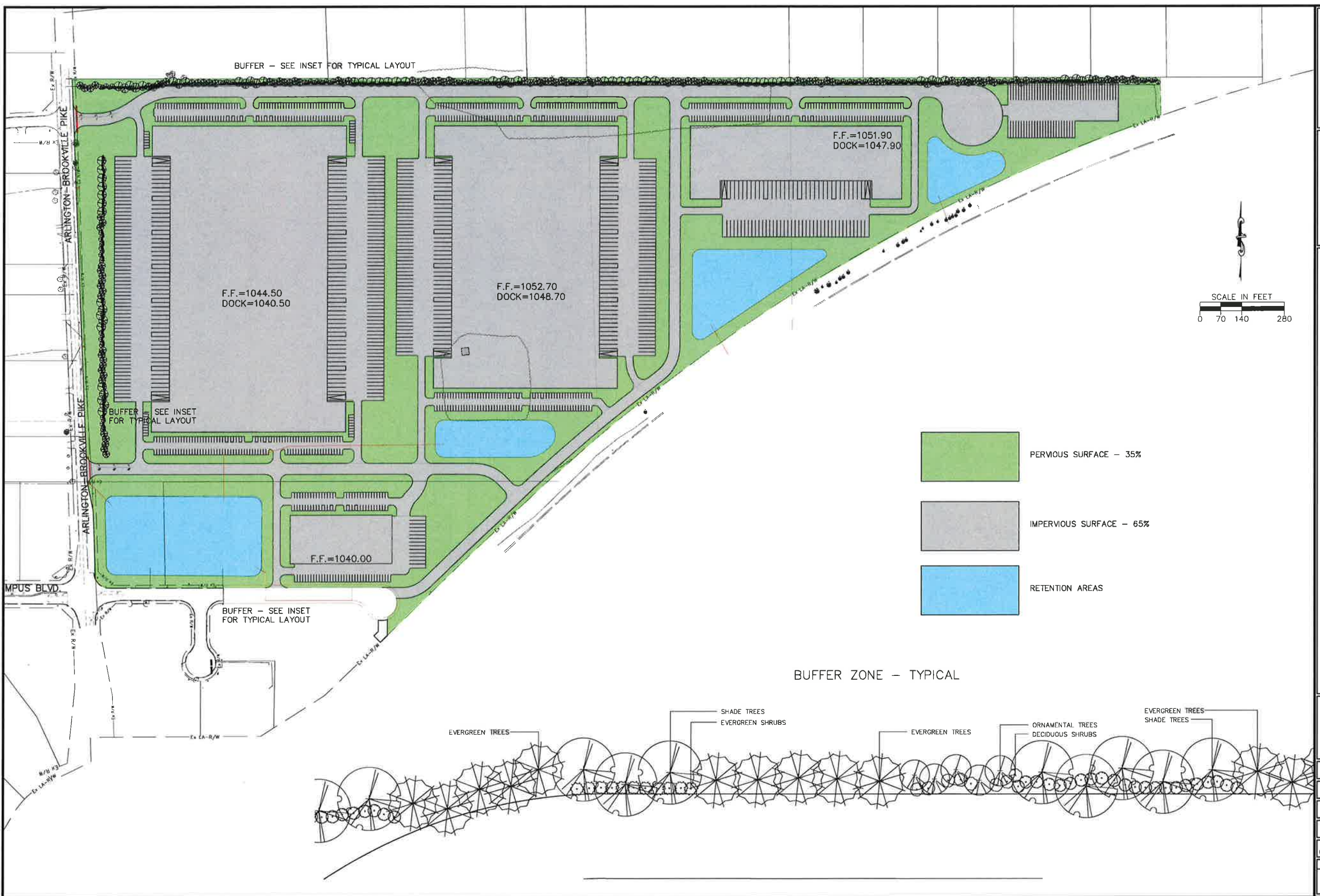
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PROJECT No.
MOTBRO2214

DATE
08-12-2022

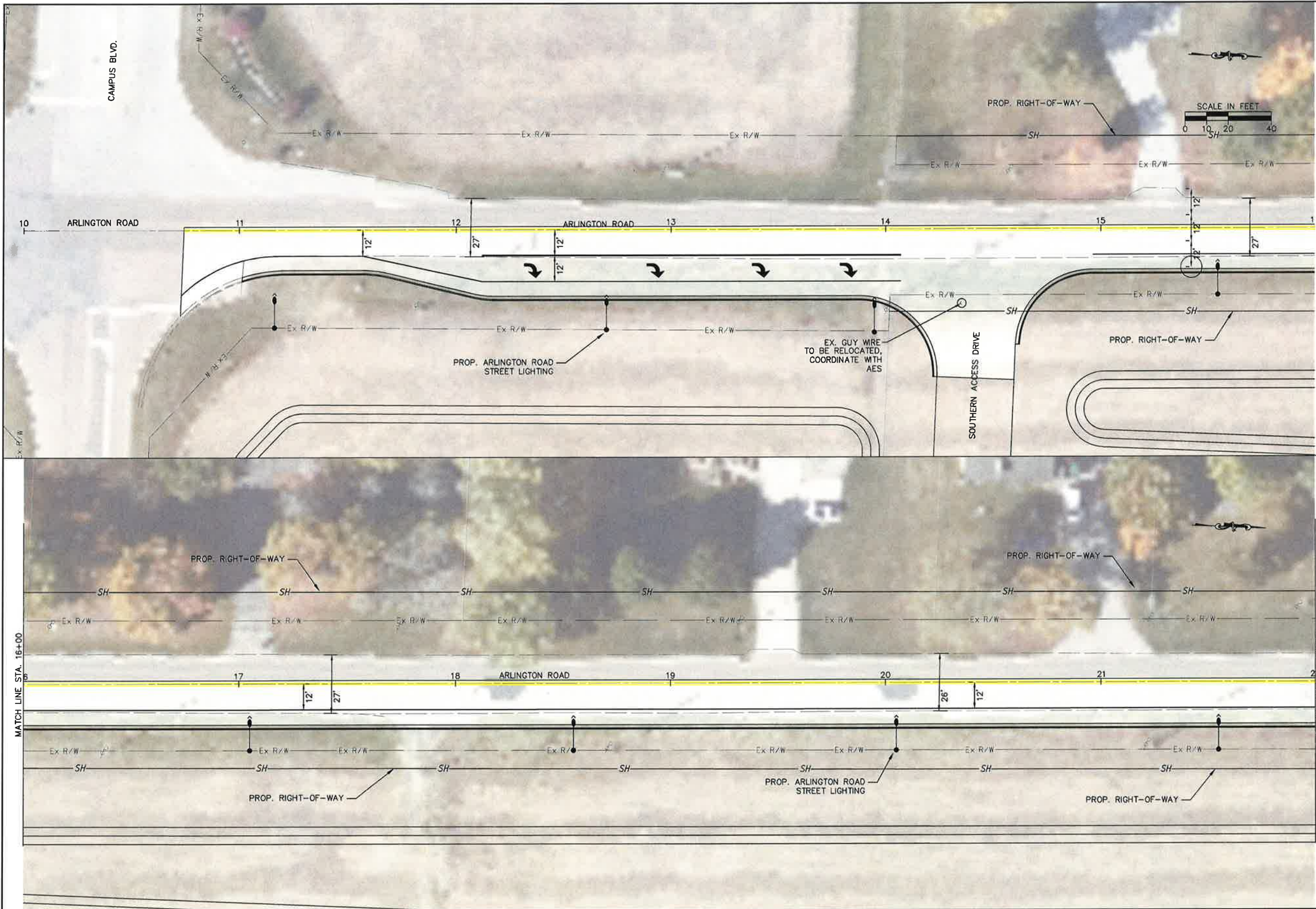
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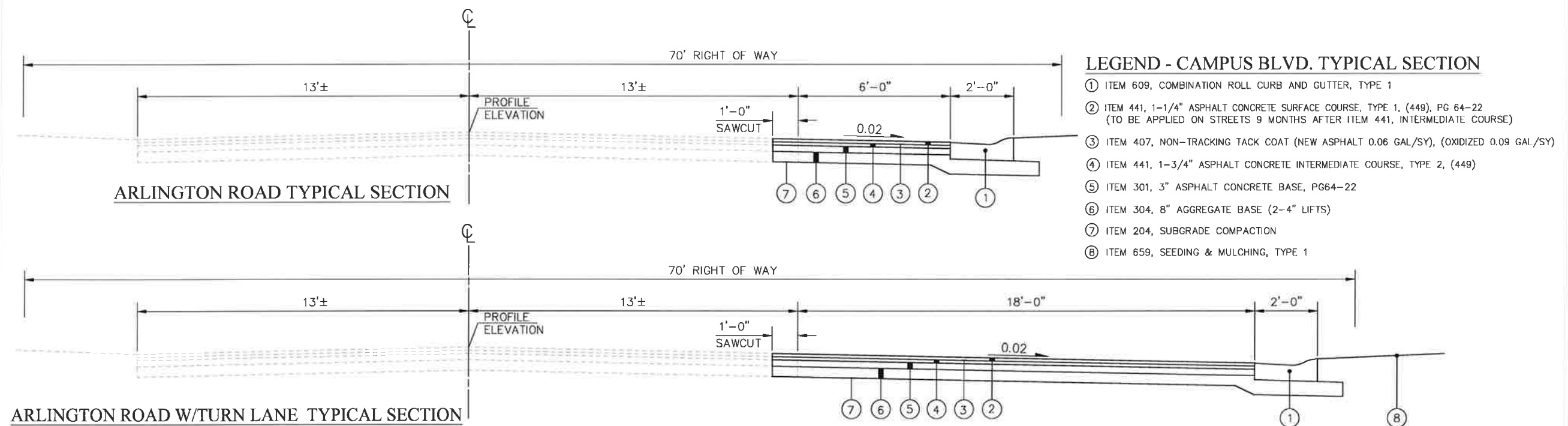
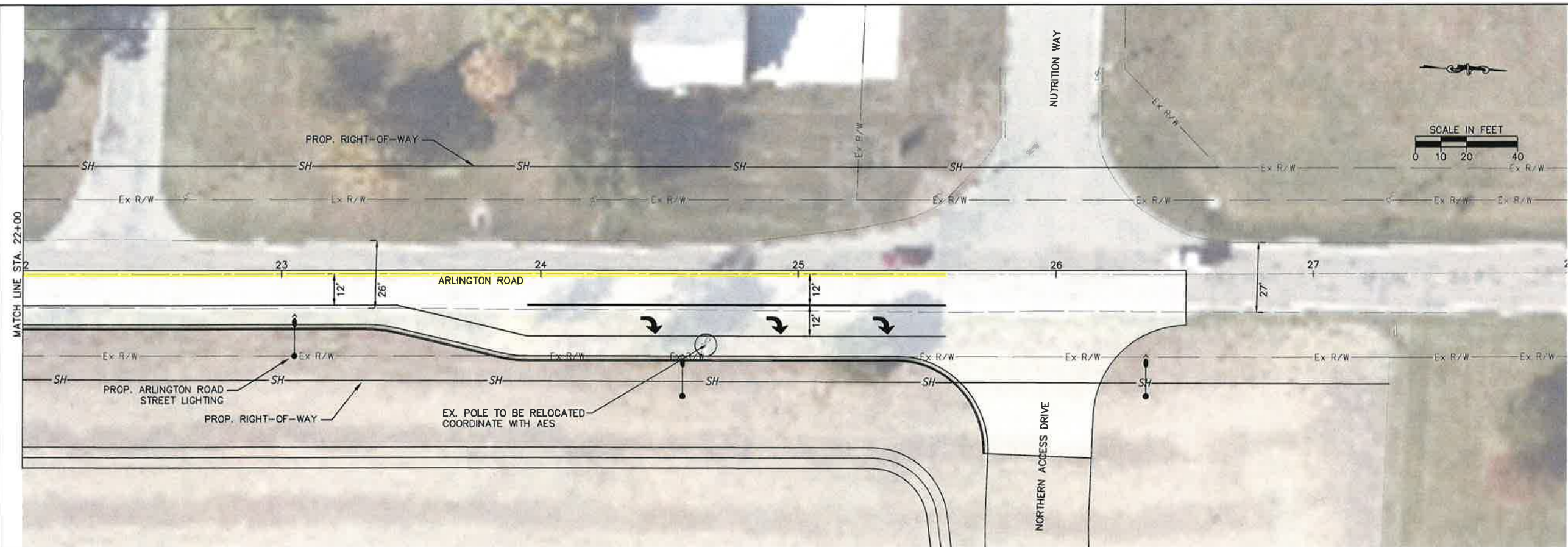
7 OF 9



**ARLINGTON ROAD INDUSTRIAL DEVELOPMENT
CITY OF BROOKVILLE**
ARLINGTON ROAD WIDENING IMPROVEMENTS AND STREET LIGHTING PLAN

REVISIONS:
FILE NAME ARLINGTON RD 001
DRAWN BY BAW
CHECKED BY MKG
PROJECT No. MOTBRO2214
DATE 08-12-2022
SHEET NUMBER 8 OF 9





BH DevCo



DATE	RECEIVED	NO.
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BUILDING

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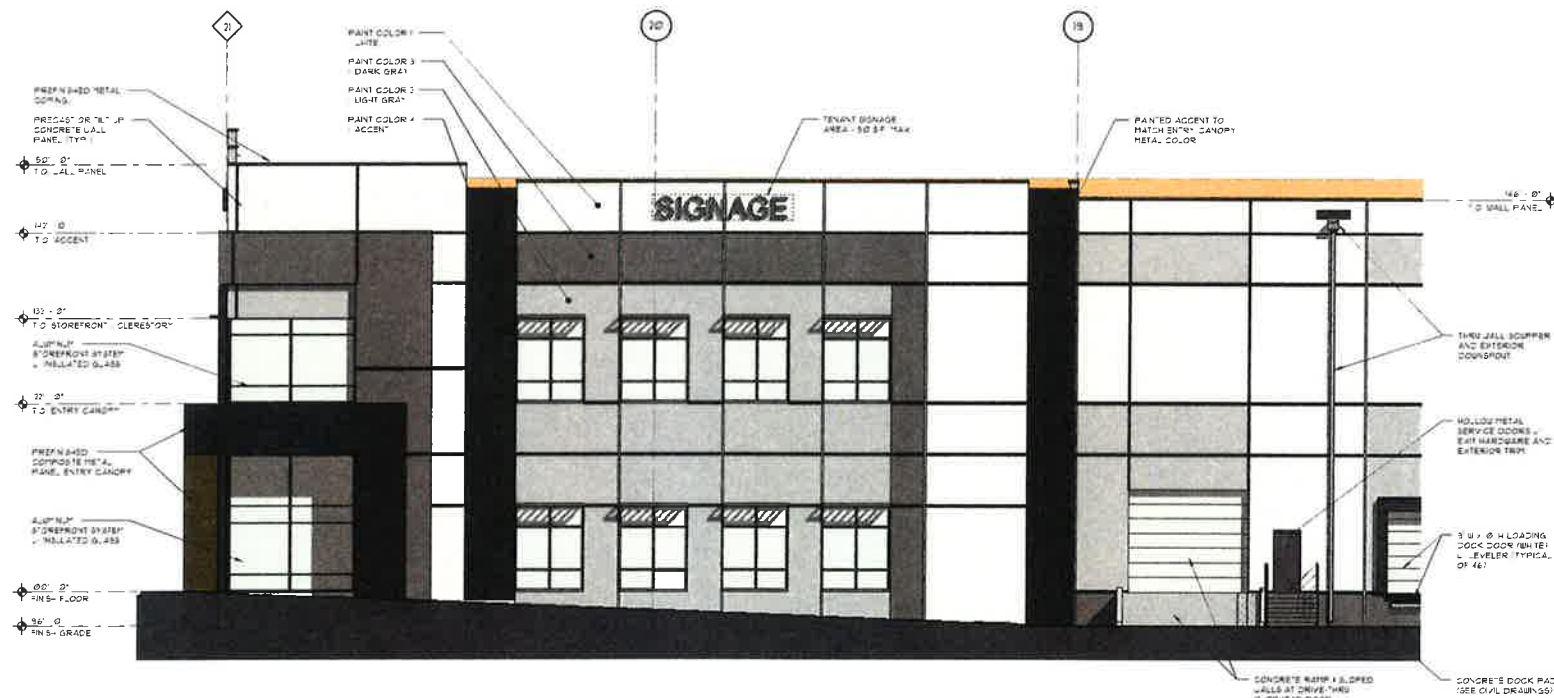
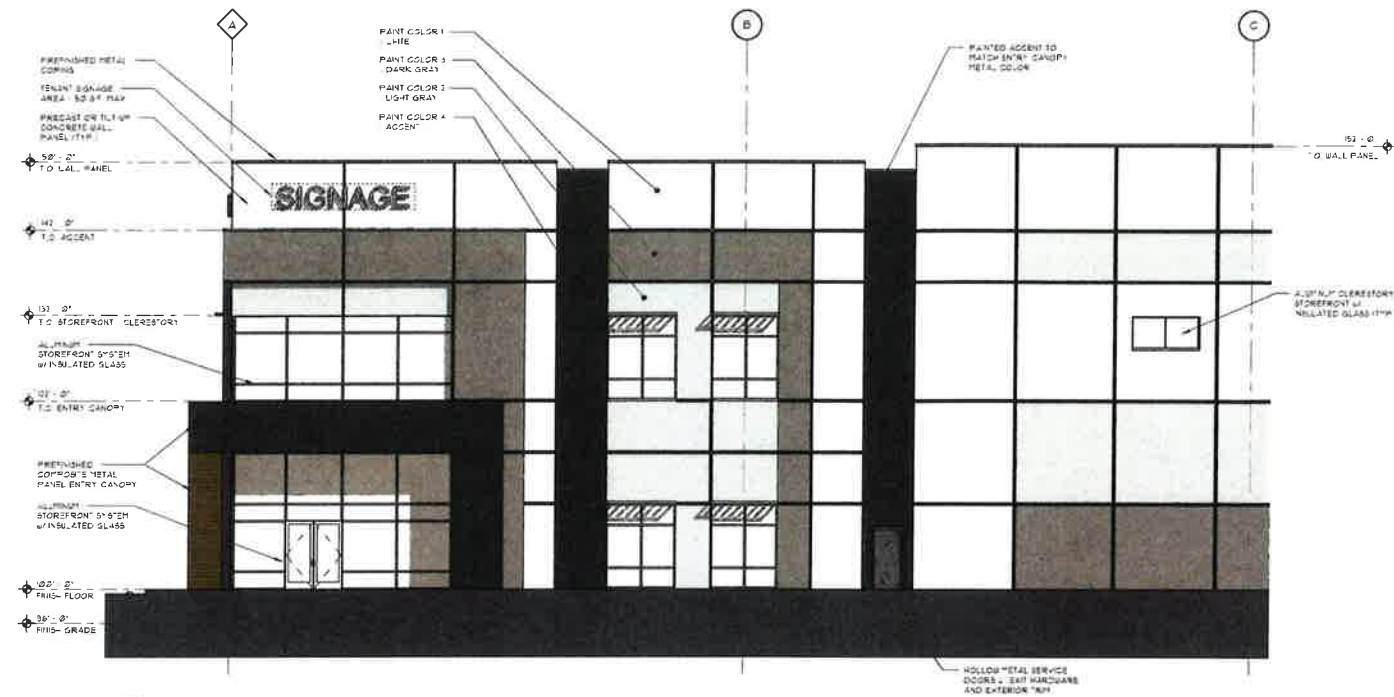
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A-2.0

BUILDING 'A'

Journal of Management Inquiry 22(1) 3-17
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DOI: 10.1177/1056492613505211
<http://jmi.sagepub.com>



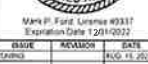


PROPOSED INDUSTRIAL DEVELOPMENT

NEC ARLINGTON RD & INTERSTATE 70
BROOKVILLE, OH. 45309

For
BH DevCo

7878 North 16th Street, Suite 130-16



PARTIAL

PARTIAL BUILDING

BUILDING ELEVATIONS

ELEVATIONS

FAA #22042 00

A 24

A-2.1

100

BUILDING 'A'

PARTIAL BUILDING ELEVATIONS

FAA #22042 00

A-2.1

BUILDING 'A'



PROPOSED INDUSTRIAL DEVELOPMENT
NEC ARLINGTON RD & INTERSTATE 70
BROOKVILLE, OH. 45309

BH DevCo
7878 North 18th Street, Suite 130-16
Phoenix, AZ. 85020

SITE ANALYSIS			
TOTAL LAND AREA :		1 90.09 ACRES (3,061,940 SF)	
TOTAL BUILDING AREA :		181,310 SF.	
TOTAL FLOOR AREA RATIO (F.A.R.) :		25.5%	
BUILDING 'A' :	548.60 SF.	PARKING 1 :	1 30.76 ACRES (1,340,046 SF) FAR : 40.5%
BUILDING 'B' :	447,360 SF.	PARKING 2 :	1 25.1 ACRES (1,076,655 SF) FAR : 35.9%
BUILDING 'C' :	136,560 SF.	PARKING 3 :	1 19.31 ACRES (840,935 SF) FAR : 6.4%
BUILDING 'D' :	83,440 SF.	PARKING 4 :	1 5.30 ACRES (6,66,451 SF) FAR : 8.0%
AUTO SPACES REQUIRED (1 PER 2000 SF) ☐ AUTO SPACES PROVIDED ☐ TRAILER SPACES PROVIDED (12) ☐ LOADING DOCKS PROVIDED			
PARKING ANALYSIS			
BUILDING 'A' :	214 REQ'D (7 ACES REQUIRED)	378 SPACES (12.0 ACES REQUIRED)	54 SPACES 12 DOORS
BUILDING 'B' :	724 REQ'D (7 ACES REQUIRED)	276 SPACES (16 ACES REQUIRED)	120 SPACES 18 DOORS
BUILDING 'C' :	70 REQ'D (9 ACES REQUIRED)	144 SPACES (9 ACES REQUIRED)	40 SPACES 20 DOORS
BUILDING 'D' :	27 REQ'D (4 ACES REQUIRED)	90 SPACES (9 ACES REQUIRED)	14 SPACES 0 DOORS
TOTAL :	106 REQ'D (23 ACES REQUIRED)	708 SPACES (52 ACES REQUIRED)	208 DOORS

PLANNING & ZONING VARIANCES

THE FOLLOWING VARIANCES TO THE "MASTER PLANNED INDUSTRIAL" ZONING REGULATIONS ARE REQUESTED FOR THIS SITE:

1. BUILDING HEIGHT - PER PZ1 §40.030.6(c), THE MAXIMUM BUILDING HEIGHT IS 45 FEET. VARIANCE IS REQUESTED TO INCREASE THIS MAXIMUM HEIGHT TO ONE HUNDRED (100) FEET.
2. YARD REQUIREMENTS - PER PZ1 §40.030.4, THE MINIMUM SETBACK REQUIREMENT FOR REAR AND SIDE YARDS SHALL BE "TWO (2) TIMES THE HEIGHT OF THE PRINCIPAL BUILDING." VARIANCE IS REQUESTED TO INCREASE THIS MINIMUM DISTANCE AS ONE HUNDRED (100) FEET RESPECTIVE OF BUILDING HEIGHT.
3. AUTO PARKING SCREENING - PER PZ1 §40.030.3.1(a), "ALL OPEN VEHICLE PARKING AREAS CONTAINING MORE THAN TEN (10) PARKING SPACES SHALL BE EFFECTIVELY SCREENED ON EACH SIDE AND ADJACENT TO THE PARKING SPACES BY A PERMANENT BARRIER." VARIANCE IS REQUESTED TO DENY THIS SECTION NOT APPLICABLE DUE TO THE LANDSCAPE BUFFER PROPOSED ALONG THE NORTHERN PROPERTY LINE.
4. SITE LIGHTING HEIGHT - PER PZ1 §40.030.3.2, "THE SOURCE OF ILLUMINATION IN ALL PARKING AREAS SHALL BE LOCATED AT A HEIGHT OF NO MORE THAN SIXTY (60) FEET ABOVE THE PARKING LOT SURFACE." VARIANCE IS REQUESTED TO INCREASE THIS MAXIMUM HEIGHT TO THIRTY-FIVE (35) FEET ABOVE THE PARKING LOT SURFACE.



**PROPOSED
SITE PLAN**

DATE 7/20/7,00

SD-1.0

Brookville

MEMORANDUM:

DATE: AUGUST 12, 2022

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

RE: HARPER CREEK SUBDIVISION

Arbor Homes has filed an application for final subdivision and development plan approval for the Harper Creek Subdivision. The plan is consistent with the preliminary plan approved by Planning Commission. The subdivision will establish 43 lots for single family housing under R-1B zoning. Approval of this final plan would be subject to final approval of the plan by City Council. A copy of the proposed subdivision record plan and improvement plans for the site are submitted to Planning Commission with this memorandum.

SECTION 34, TOWN 6, RANGE 4E
CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO
AUGUST 12, 2022

AUGUST 12, 2022



1	TITLE SHEET & NOTES
2	ROADWAY DETAILS
2A	ROADWAY DETAILS
3	ROADWAY DETAILS
4	UTILITY DETAILS
5	UTILITY DETAILS
6	SANITARY DETAILS
7	SANITARY DETAILS
8	WATER DETAILS
9	WATER DETAILS
10	OVERALL UTILITY & INDEX MAP
11	UTILITY LATERAL PLAN
12	PLAN AND PROFILE HARPER CREEK DR
13	PLAN AND PROFILE AUTUMN MAPLE LANE
14	PLAN AND PROFILE AUTUMN MAPLE LN
15	PLAN AND PROFILE CHERRY BLOSSOM DRIVE
16	OFFSTREET PROFILES
17	OFFSTREET PROFILES
18	INTERSECTION DETAILS
19	INTERSECTION DETAILS
20	GRADING & EROSION CONTROL PLAN - PH I
21	GRADING & EROSION CONTROL PLAN - PH II
22	FINAL GRADING PLAN
23	BASIN DETAILS
24	SWPPP NOTES
25	SWPPP DETAILS
26	SWPPP DETAILS

ARBOR HOMES
9050 CENTRE POINTE DRIVE, SUITE 210
WEST CHESTER, OH 45069
PH: (371) 520-8419

CESCO, INC.
 3601 RIGBY ROAD
 MIAMISBURG, OH 45342
 PH: (937) 435-8584
 JUSTIN ELAM, P.E.

CITY OF BROOKVILLE
301 SYCAMORE ST.
BROOKVILLE, OH 45309

DOUG PRODOEHL
PH: (513) 200-0523

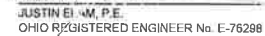


BM 1: CROSS NOTCH SET ON ARROW BOLT ON WEST SIDE OF A FIRE HYDRANT, ABOUT 50' SOUTH OF EAST UPPER LEWISBURG SALEM RD. ON TH EAST SIDE OF THE BROOKVILLE 76 FIRE STATION TRUCK ENTRY AND EXIT.

BM 2: CROSS NOTCH SET ON THE SOUTHWEST SIDE OF A FIRE HYDRANT, IN THE WEST RIGHT-OF-WAY OF ALBERT RD. ABOUT 50' SOUTH OF THE INTERSECTION OF UPPER LEWISBURG SALEM RD. AND ALBERT RD.

ELEVATIONS AND DATUM AS SHOWN HEREON ARE BASED UPON NAVD88 ESTABLISHED USING GPS OBSERVATIONS ALONG WITH THE OHIO DEPARTMENT OF TRANSPORTATION RTN NETWORK AND OPUS SOLUTIONS, MADE IN CONJUNCTION WITH A SURVEY CONDUCTED BY CESO INC. IN MARCH OF 2021.

NORTH AND BEARING SYSTEM BASED ON THE OHIO
STATE PLANE - SOUTH, NAD 83 AND UPON GPS
OBSERVATIONS TAKEN BY CESO INC IN MARCH OF 2021,
SCALED TO GROUND AT A LAT, N39°50'40.33302",
LONG. W84°24'23.20801" AND A PROJECT HEIGHT OF
940.881 FEET AND A SCALE FACTOR OF 1.00007689009207.



08/12/22
DATE

APPROVED
CITY OF BROOKVILLE

DATE _____

GAS
CENTERPOINT ENERGY
4285 NORTH JAMES MCGEE BLVD
DAYTON, OH 45427
(937) 440-1857

TELEPHONE
FRONTIER
7460 BRANDT PIKE
DAYTON OH 45424
937-576-9043

ELECTRIC
AES OHIO
1900 DRYDEN ROAD
DAYTON, OHIO 45459
(937) 331-4682

CABLE
SPECTRUM CABLE
275 LEO ST.
DAYTON, OH 45459
(937) 425-8883

STREET STORMWATER SANITARY
SEWER & WATER
CITY OF BROOKVILLE
301 SYCAMORE ST.
PO BOX 10
BROOKVILLE, OHIO 45309
(937) 233-1423

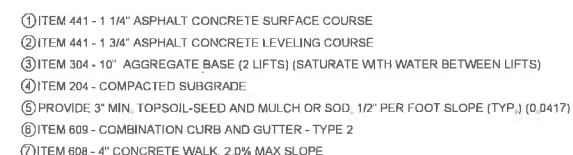
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HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

TITLE SHEET

ISSUE: REVIEW	
DATE: 08/12/2022	
JOB NO.:	757660
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO. 1	



A. ALL WORK TO CONFORM TO ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS LATEST REVISION UNLESS OTHERWISE SPECIFIED.

B. ITEM 407 TACK COAT, SHALL BE REQUIRED WHEN 10 DAYS HAVE ELAPSED BETWEEN BITUMINOUS PAVEMENT LIFTS UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. APPLICATION RATE IS .10 GALLON PER SQUARE YARD.

C. ALL BUTT JOINTS AND BETWEEN CURB AND PAVEMENT SHALL BE SEALED WITH PG64 -22 WITHIN 24 HOURS AFTER PLACEMENT OF ITEM 404.

D. NO CONCRETE PAVEMENT WILL BE ACCEPTED.

[illegible]

HARPER
CREEK

ROADWAY DETAILS

ISSUE:	
REVIEW	
DATE:	
08/12/2022	
JOB NO.:	757660
DESIGN:	JEE
DRAWN:	SJS
CHECKED:	JEE
SHEET NO.	



UTILITIES AGENTS

MUNICIPALITY OF BROOKVILLE-
STREET, STORM AND SANITARY
301 SYCAMORE ST.
P.O. BOX 10
BROOKVILLE OHIO 45309-0010
(937) 883-2135

DAYTON POWER AND LIGHT- ELECTRIC AND GAS SERVICE
236 W. LEXINGTON ROAD
EATON OH, 45320
1-800-729-2640
FAX: 937-456-2702

TIME WARNER CABLE - CABLE TV SERVICE
419 SOUTH BARRON AVE.
EATON, OH 45320
1-800-762-2963

QTE PHONE SERVICES
8464 WESTBROOK RD.
CLAYTON, OHIO 45315
(937) 833-0458

OHIO UTILITIES PROTECTION SERVICE
3 WORKING DAYS BEFORE YOU DIG
TOLL FREE 800-362-2764

SEEDING

A. ALL AREAS DESIGNATED FOR SEEDING SHALL HAVE A MINIMUM OF 6" OF TOPSOIL OVER THE ENTIRE AREAS. THE AREA SHALL BE HAND RAKED, AND DRESSED READY FOR SEEDING. NO STONE OVER 1" IN SIZE PERMITTED.

B. THE FOLLOWING SEED MIXTURE OR APPROVED EQUIVALENT SHALL BE USED:
30% KENTUCKY BLUEGRASS
23% PALMER PERENNIAL RYE
22% YORKTOWN III PERENNIAL RYE
15% CREEPING RED FESCUE
10% BARON KENTUCKY BLUEGRASS

C. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THE GRASS IS ESTABLISHED TO THE SATISFACTION OF THE MUNICIPALITY.

DRAINS

A. ALL FIELD OR STORM DRAINS WHICH ARE ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED AND PROVIDED WITH UNOBSTRUCTED OUTLETS AS APPROVED AND DIRECTED BY THE MUNICIPALITY AND MARKED ON THE RECORD DRAWINGS.

CONNECTIONS TO EXISTING PIPE

A. WHERE THE PLANS PROVIDE FOR PROPOSED CONDUIT TO BE CONNECTED TO, OR TO CROSS EITHER OVER OR UNDER AN EXISTING SEWER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE EXISTING PIPE BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED CONDUIT.

UTILITY SEPARATION

A. ANY UNDERGROUND UTILITIES SUCH AS GAS, ELECTRIC, CABLE TV, TELEPHONE, ETC., SHALL HAVE 10" SEPARATION FROM ANY MUNICIPALITY UTILITY UNLESS OTHERWISE APPROVED.

UTILITIES

A. THE MAXIMUM LENGTH OF ANY UTILITY TRENCH TO BE OPEN AT ANY TIME SHALL BE 250' UNLESS OTHERWISE APPROVED.

COMPACTION METHODS

A. FLOODING SHALL NOT BE PERMITTED.

B. MECHANICAL DEVICES, HAND DEVICES, VIBRATING PLATES OR OTHER EQUIPMENT APPROVED BY THE MUNICIPALITY IS ACCEPTABLE 1' ABOVE PIPE IN UNIFORM LIFTS OF 12" (LOOSE DEPTH) OF EXISTING NATIVE MATERIAL AND 6" OF GRANULAR BACKFILL. THE HEIGHT OF LIFT WILL DEPEND UPON THE TYPE OF MECHANICAL EQUIPMENT BEING USED. THE HEIGHT WILL BE 6" FOR HAND OPERATED TOOLS AND UP TO 12" ON EQUIPMENT MOUNTED TOOLS. THE COMPACTION EQUIPMENT SHALL BE CAPABLE OF COMPACTING THE MATERIAL UNDER THE HAUNCH OF THE PIPE.

C. LIFTING IS APPROVED FOR ODOT 603, TYPE 2 GRANULAR MATERIAL ONLY AND IF A STORM DRAIN IS AVAILABLE AS A DRAINAGE OUTLET FOR THE REMOVAL OF EXCESS WATER. A 4" MAXIMUM LIFT SHALL BE ADHERED TO. SATISFACTORY DRAINAGE SHALL BE PROVIDED BY THE USE OF DRAINAGE DITCHES, PUMPS OR OTHER EQUIPMENT. ALL WATER MUST BE METERED FOR COMPACTION METHOD.

D. DENSITY FOR THE ABOVE METHODS SHALL BE NO LESS THAN THAT OF THE SURROUNDING GROUND UNLESS OTHERWISE SPECIFIED.

DISPOSAL OF SURPLUS MATERIAL

A. THE MUNICIPALITY MAY AT THEIR DISCRETION REQUIRE THAT SURPLUS MATERIAL BE DEPOSITED AT A LOCATION DESIGNATED WITHIN A THREE-MILE RADIUS OF THE WORK SITE.

TYPICAL NOTES - ALL SUBDIVISION CONSTRUCTION DRAWINGS

A. ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH THE MUNICIPALITY ENGINEERING STANDARDS OR ODOT WHICHEVER IS MORE RESTRICTIVE.

B. ALL COMPACTION SHALL MEET THE MUNICIPALITY REQUIREMENTS. IF TESTING OF COMPACTED AREAS IS REQUESTED BY THE MUNICIPALITY, SAID TESTING SHALL BE PERFORMED AT THE EXPENSE OF THE DEVELOPER.

C. THE MUNICIPALITY WILL LOCATE AREAS IN NEED OF UNDERCUTTING UNLESS THE DEVELOPER CHOOSES TO HAVE AT HIS EXPENSE AN INDEPENDENT APPROVED TESTING COMPANY TO DETERMINE UNSUITABLE MATERIAL AREAS THAT NEED UNDERCUTTING.

D. ALL EMBANKMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF ASTM D698 STANDARD PROCTOR CURVE AND TESTED TO REPRESENT A DEPTH OF 12" UNLESS OTHERWISE SPECIFIED BY THE MUNICIPALITY.

E. ALL UNPAVED AREAS WITHIN THE STREET RIGHT-OF-WAY SHALL BE SEEDED WITHIN 48 HOURS AFTER THE CURB IS BACKFILLED. STAKED STRAW BALES MAY BE REQUIRED IN ADDITION TO SEEDING TO CONTROL EROSION IF REQUESTED BY THE MUNICIPALITY.

F. STORM WATER POLLUTION PREVENTION SHOULD BE A HIGH PRIORITY ON ALL CONSTRUCTION PROJECTS. ON ALL PROJECTS WHICH DISTURB AT LEAST 5 ACRES OF SOIL, A NPDES PERMIT IS REQUIRED FROM ODEPA AND A COPY OF THE PERMIT MUST BE ON FILE AT THE MUNICIPALITY OFFICE BEFORE CONSTRUCTION BEGINS.

MUNICIPALITY OF
BROOKVILLE

CHOICE
ENGINEERING

REVISIONS:

DATE
APPROVED:
APRIL 1999
PAGE No.
500-2

GENERAL NOTES

NOTES

A. THE MUNICIPALITY MUST BE NOTIFIED BEFORE ANYONE CAN PERFORM ANY WORK ON OR WITHIN A PUBLIC RIGHT-OF-WAY, (STREET, ALLEY, ETC.). NOTIFICATION IS REQUIRED FOR ANY TUNNEL, SIDEWALK, OPENING OR EXCAVATION UNDER OR IN THE RIGHT-OF-WAY PUBLIC GROUNDS.

B. THE NOTIFICATION WILL BE COMPLETED BY THE PERSON OR FIRM PLANNING THE WORK WITHIN THE RIGHT-OF-WAY. ALL APPROVALS MUST BE OBTAINED BEFORE ANY WORK IS STARTED. 72 WORKING HOUR LEAD TIME IS RECOMMENDED.

C. THE APPLICANT SHALL HAVE SUFFICIENT BARRICADES, WARNING SIGNS, AND LIGHTS DURING THE ENTIRE PERIOD THAT THE WORK IS BEING PERFORMED AND SHALL ADHERE TO APPLICABLE SECTION OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

D. ALL UTILITIES ARE REQUIRED TO OBTAIN APPROVAL.

E. THE EXISTING PAVEMENT SHALL BE NEATLY CUT PRIOR TO EXCAVATION. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE JOB SITE. THE APPLICANT IS RESPONSIBLE FOR ALL PAVEMENT DAMAGED OUTSIDE THE TRENCH AREA.

F. BACKFILLING SHALL BE IN ACCORDANCE WITH MUNICIPAL SPECIFICATIONS.

G. ALL EXCAVATIONS OR TRENCH EDGES UNDER OR WITHIN 5' OF PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS SHALL EITHER BE BACKFILLED WITH LOW STRENGTH MORTAR BACKFILL ODOT ITEM G13, TYPE 1 ONLY OR BACKFILLED WITH ODOT 603 TYPE 1 OR TYPE 2 GRANULAR MATERIAL, COMPACTED IN 6" LAYERS. A DENSITY TEST OF 98% OF ASTM D698 STANDARD PROCTOR CURVE MAYBE REQUIRED TO BE PERFORMED BY A COMMERCIAL TESTING LAB SATISFACTORY TO THE MUNICIPALITY.

H. ALL EXCAVATION OR TRENCH EDGES NOT UNDER OR WITHIN 5' OF PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREAS OR WALKS CAN BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE MUNICIPALITY.

I. ALL DISTURBED AREAS MUST BE RETURNED TO AS GOOD OR BETTER CONDITION. ALL REPAIRS MUST MEET VILLAGE SPECIFICATIONS. THE VILLAGE MUST INSPECT AND APPROVE ALL REPAIRS.

J. COLD PATCH SHALL BE PLACED TO 1 1/2" THICKNESS OVER BACKFILLED TRENCH WITHIN ONE WORKING DAY AFTER THE BACKFILL HAS BEEN COMPACTED. IF THE ASPHALT PAVEMENT ISN'T PLACED IMMEDIATELY.

K. EFFORTS SHALL BE MADE TO MINIMIZE ANY DISTURBANCE TO TREES OR THIN ROOTS. EXTENSIVE EXCAVATION CAUSING DAMAGE TO TREES WILL RESULT IN THE REMOVAL AND REPLACEMENT OF, BY THE CONTRACTOR. THE REPLACEMENT SHALL BE AS PER THE MUNICIPALITY.

L. FOR CLOSURE OF ARTERIALS OR BUSY COLLECTORS THE MUNICIPALITY RESERVES THE OPPORTUNITY TO DIRECT CONTRACTOR TO TO CLOSE STREET DURING OFF-PEAK TRAFFIC HOURS. CLOSURE MAY OCCUR AT NIGHT OR ON WEEKENDS. CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL ASSOCIATED WITH ROAD CLOSURE.

M. AN ASPHALT EMULSION, OR CRACK SEALANT, WITH ASPHALT GRADE SS-1 OR CSS-1 SHALL BE APPLIED TO THE PERIMETER OF ALL PAVEMENT CUTS AFTER RESTORATION IS COMPLETED.

N. PAVEMENT THICKNESS TO BE RESTORED SHALL BE ACCORDING TO MUNICIPAL STANDARDS OR EQUAL TO THE EXISTING THICKNESS, WHICHEVER IS GREATER.

O. IN THE EVENT THAT AFTER NOTIFICATION FROM THE MUNICIPALITY, THE CONTRACTOR FAILS TO CORRECT PROBLEMS ASSOCIATED WITH POOR TRENCH MAINTENANCE, THE MUNICIPALITY RESERVES EXCLUSIVE RIGHT TO CORRECT TRENCH PROBLEMS AND BILL THE ASSOCIATED COSTS.

MUNICIPALITY OF
BROOKVILLE

CHOICE
ENGINEERING

REVISIONS:

DATE
APPROVED:
APRIL 1999
PAGE No.
300-15

PUBLIC RIGHT-OF-WAY OPENING AND EXCAVATION

GENERAL

A. FAILURE TO COMPLY WITH THE CONSTRUCTION STANDARDS AND DRAWINGS AND DESIGN CRITERIA MAY BE CONSIDERED A VIOLATION OF THE MUNICIPALITY'S SUBDIVISION REGULATIONS. PENALTIES MAY BE ASSESSED ACCORDING TO THE SEVERITY OF THE VIOLATION.

B. ALL STREET CONSTRUCTION SHALL BE IN ACCORDANCE WITH ODOT SPECIFICATIONS, LATEST REVISION.

C. NON-PUBLIC CONSTRUCTION IMPROVEMENTS AFFECTING THE EXISTING CONDITION, PERFORMANCE AND LIFECYCLE OF MUNICIPALITY STREETS, ALLEYS, OR RIGHTS-OF-WAY SHALL BE RESTORED TO THE REQUIREMENTS AND SATISFACTION OF THE MUNICIPALITY. ALL MUNICIPAL INFRASTRUCTURE SHALL BE ADEQUATELY RESTORED ACCORDING TO APPLICABLE STANDARDS AND DETAILS.

D. ALL NEW SUBDIVISIONS AND DEVELOPMENTS SHALL BE PROVIDED WITH PUBLIC SIDEWALKS ON BOTH SIDES OF STREETS IN ACCORDANCE WITH MUNICIPAL STANDARDS.

E. CURB CUTS FOR ALL NEW AND RECONSTRUCTED DRIVEWAYS SHALL CONFORM TO MUNICIPAL STANDARDS. ALL NEW DRIVEWAY APPROACHES SHALL BE CONSTRUCTED OF OR CONCRETE AND SUBJECT TO ALL MUNICIPAL REQUIREMENTS.

F. NO MUNICIPAL STREET OR ALLEY SHALL BE CLOSED UNLESS THE MUNICIPALITY'S NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF A NON-EMERGENCY SITUATION. ADVANCED PUBLIC NOTIFICATION AND PUBLISHING SHALL BE A MINIMUM OF 74 HOURS.

PAVEMENT REPLACEMENT

A. IMMEDIATELY AFTER PLACEMENT OF BACKFILL IN EXISTING STREETS, A TEMPORARY PAVEMENT SHALL BE INSTALLED AND THE STREET OPENED. TEMPORARY PAVEMENT SHALL CONSIST OF 8" OF COMPACTED ODOT SPECIFICATION 411 OR 307, THE SURFACE SHALL BE MAINTAINED FLUSH WITH THE EXISTING STREET.

B. PERMANENT PAVEMENT REPLACEMENT SHALL EQUAL OR EXCEED THE EXISTING PAVEMENT. (MINIMUM PAVEMENT COMPOSITION, SEE PAGE 300-2 OR 300-3).

C. ANY SETTLEMENT OF A TRENCH CAUSING A DEPRESSION SHALL BE REFILLED AS REQUIRED BY THE MUNICIPALITY AT THE CONTRACTOR'S EXPENSE. THIS PROVISION APPLIES FOR A ONE-YEAR PERIOD AFTER WORK IS ACCEPTED BY THE MUNICIPALITY.

D. ALL TEMPORARY PAVEMENT AND SIDEWALK SHALL BE MAINTAINED BY THE CONTRACTOR OR DEVELOPER AT HIS OWN EXPENSE IN A SUITABLE AND SAFE CONDITION FOR TRAFFIC UNTIL PERMANENT REPLACEMENT IS MADE OR THE PROJECT IS FINALLY ACCEPTED BY THE MUNICIPALITY.

TRAFFIC CONTROL

A. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL AT ALL TIMES WITH THE PROPER BARRICADES AS PER THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THESE CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY WORK COMMENCING. CONTRACTOR WILL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL ITEMS.

B. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES UNLESS OTHERWISE APPROVED BY THE MUNICIPALITY.

CURB STAKING AND ROADWAY

A. LINE AND GRADE EVERY 25' ON A CONVENIENT OFFSET WITH TACKED HUBS.

PAVEMENT (ASPHALT)

A. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY WITH A COPY OF THE NORMAL (MEDIUM TRAFFIC) ODOT 404 JOB MIX FORMULA FOR EACH PLANT THAT PROVIDES HOT MIXED ASPHALT TO THIS PROJECT. ALL MIXES SHALL FOLLOW ODOT JOB MIX FORMULA WITH THE EXCEPTION THAT THE OTIMUM CONTENT SHALL BE 0.2% HIGHER. SECTION 401.02 COMPOSITION OF THE CURRENT ODOT SPECIFICATIONS SHALL BE USED FOR ACCEPTANCE BASED ON THE INCREASED OTIMUM. A 448 OR 446 JOB MIX FORMULA WILL NOT BE ACCEPTABLE. RECYCLED ASPHALT SHALL NOT EXCEED 15% OF ANY MIX PRODUCED.

B. THREE-WHEEL STEEL ROLLER SHALL BE USED FOR INITIAL BREAKDOWN ON ALL PROJECTS.

C. ALL WORK SHALL ADHERE TO ODOT'S LATEST REVISIONS AND TO THE MUNICIPALITY'S SPECIFICATIONS WHICHEVER IS MORE STRINGENT SHALL PREVAIL UNLESS OTHERWISE APPROVED.

D. PATCHED AREAS SHALL BE SEALED ON THE PERIMETER OF THE PATCH WITH ASPHALT CEMENT.

E. ALL UTILITY ADJUSTMENTS --- MANHOLE, WATER VALVES, ETC. --- SHALL BE RAISED TO FINISHED GRADE BEFORE THE FINAL ASPHALT COURSE IS LAID.

F. ASPHALT CEMENT SHALL BE USED NEXT TO THE LIP OF GUTTER PRIOR TO THE FINAL ASPHALT LIFT BEING PLACED. (SS-1 TACK OR PG64-22 SEAL.)

G. TACK COAT SHALL BE APPLIED PRIOR TO THE PLACEMENT OF THE FINAL LIFT OF ASPHALT IF THE EXISTING ASPHALT LIFT IS DIRTY OR AFTER TEN DAYS UNLESS OTHERWISE APPROVED. TEMPERATURE MUST BE 50°F OR HIGHER.

H. NO ASPHALT SHALL BE PLACED OVER EXCAVATED TRENCHES UNLESS TRENCHES HAVE BEEN COMPACTED AS PER MUNICIPALITY CONSTRUCTION STANDARDS & DRAWINGS PAGE 500-6.

I. NO ASPHALT SHALL BE LAID UNLESS THE MUNICIPALITY IS GIVEN PRIOR NOTICE AND THE AMBIENT TEMPERATURE IS 50°F OR GREATER UNLESS OTHERWISE APPROVED.

K. FINAL LIFT OF ASPHALT SHALL BE FINISHED TO 1/4" ABOVE THE LIP OF GUTTER.

L. TEMPERATURES FOR BREAKDOWN ROLLING SHALL BE 280°F PLUS 15°F AND FOR FINAL ROLLING 175°F PLUS 15°F.

M. ASPHALT CEMENT SHALL BE USED ON ALL JOINTS AND FEATHERED SURFACES PRIOR TO PLACEMENT OF THE NEXT COURSE OF ASPHALT TO THE ADJUTING JOINT, UNLESS OTHERWISE APPROVED.

N. 325°F IS THE MAXIMUM TEMPERATURE ASPHALT MATERIAL IS TO BE MIXED.

O. ALL EDGES TO BE TRIMMED BACK AND SAWCUT TO SOID MATERIAL AND BE STRAIGHT AND NEAT AS PER THE MUNICIPALITY'S INSTRUCTIONS.

MUNICIPALITY OF
BROOKVILLE

CHOICE
ENGINEERING

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MISCELLANEOUS ROADWAY NOTES

FOR CURB LAWNS OF
LESS THAN 6'-0"

FOR CURB LAWNS OF
6'-0" OR MORE

NOTES

A. DRIVE APPROACHES SHALL MEET THE REQUIREMENTS OF ODOT ITEM 452 AND 499 CAST-IN-PLACE CONCRETE.

B. DRIVE APPROACHES SHALL NOT BE POURED MONOLITHICLY WITH CURB.

C. MAXIMUM JOINT SPACING SHALL BE 10' LONGITUDINALLY, TRANSVERSELY AND AT TAPERS.

D. EXPANSION MATERIAL SHALL BE 1/2" PREMOLDED.

E. COMPACTED GRAVEL SHALL BE PLACED UNDER DRIVE APPROACHES IF DETERMINED NECESSARY BY THE MUNICIPALITY.

F. PROVIDE BROOM FINISH AND EDGING TO ALL EXPOSED SURFACES.

G. WHERE CURB AND GUTTER HAS NOT BEEN PROPERLY DROPPED AT DRIVE APPROACHES, THE CURB SHALL BE ENTIRELY REMOVED AND REPLACED BY THE CONTRACTOR OR OWNER AS DIRECTED BY THE MUNICIPALITY.

H. JOINTS SHALL BE CLEANED AND EGED BY A 1/4" RADIUS EDER. LONGITUDINAL JOINTS SHALL BE AS DIRECTED BY THE MUNICIPALITY. EXPANSION JOINTS SHALL BE OF SUCH DIMENSIONS AS SHOWN ON STANDARD DRAWINGS FOR CONSTRUCTION JOINTS.

I. WHERE ASPHALTIC CONCRETE PAVEMENT IS DISTURBED, THE ASPHALT SHALL BE REPLACED AS DIRECTED BY THE MUNICIPALITY.

J. CONCRETE SHALL BE ODOT CLASS C (4000 PSI, 600 LB/CY) CEMENT, PROPORTIONING OPTIONS 1 AND 2 NOT ALLOWED.

K. CONCRETE SHALL CONTAIN 6% ± 1% OF TOTAL AIR.

L. IF CURB IS REMOVED AND REPLACED DURING DRIVEWAY CONSTRUCTION, JOINTS BETWEEN EXISTING AND NEW CURB ARE TO BE 1/2" EXPANSION JOINTS.

MUNICIPALITY OF
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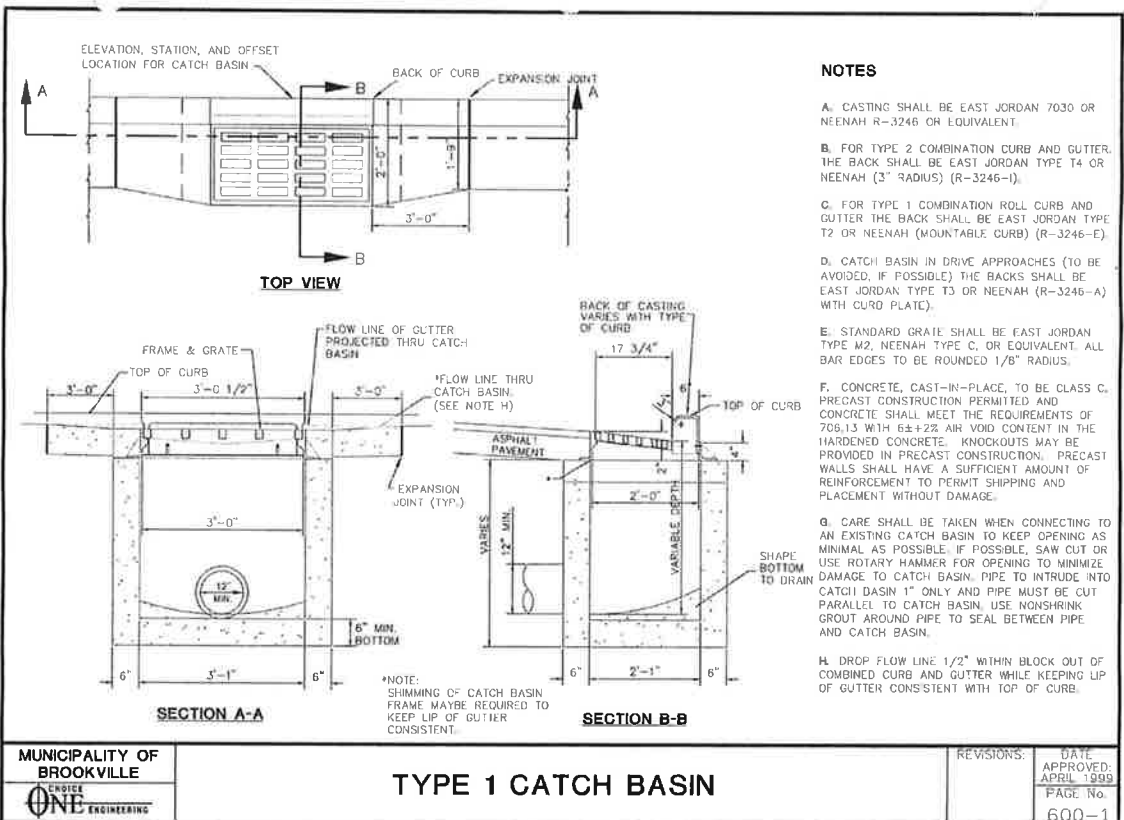
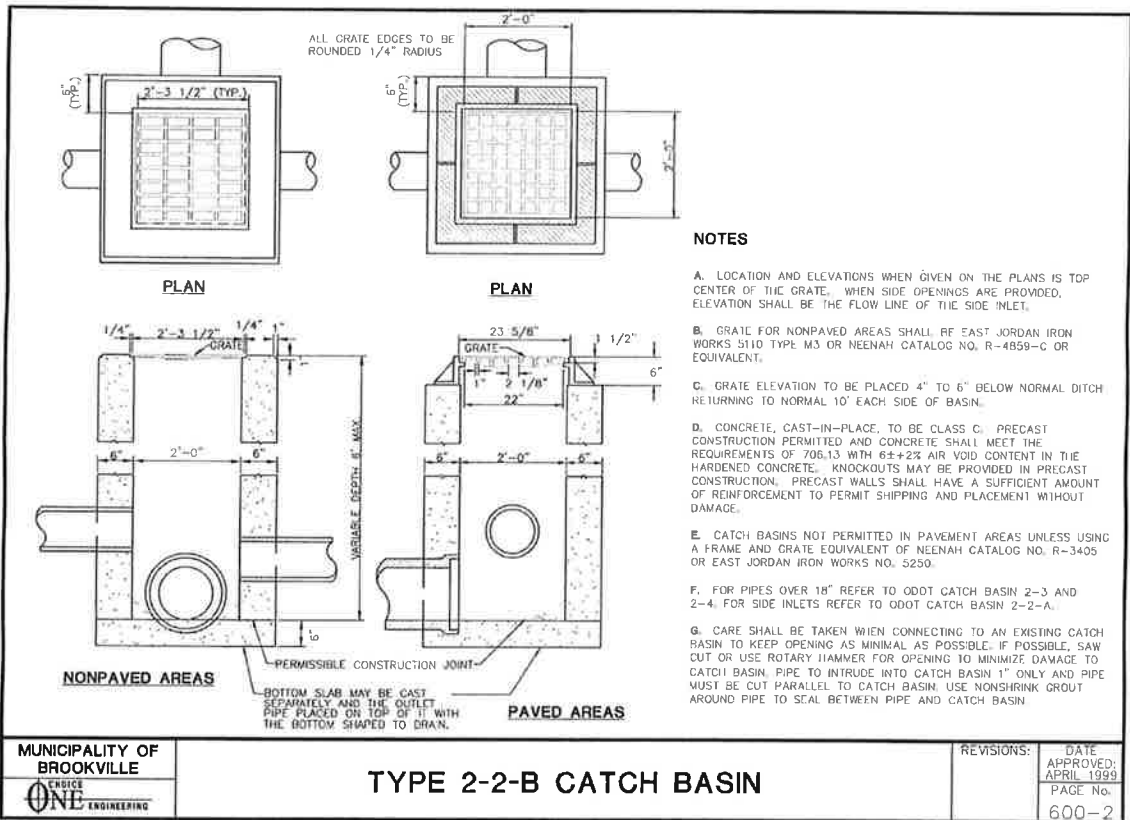
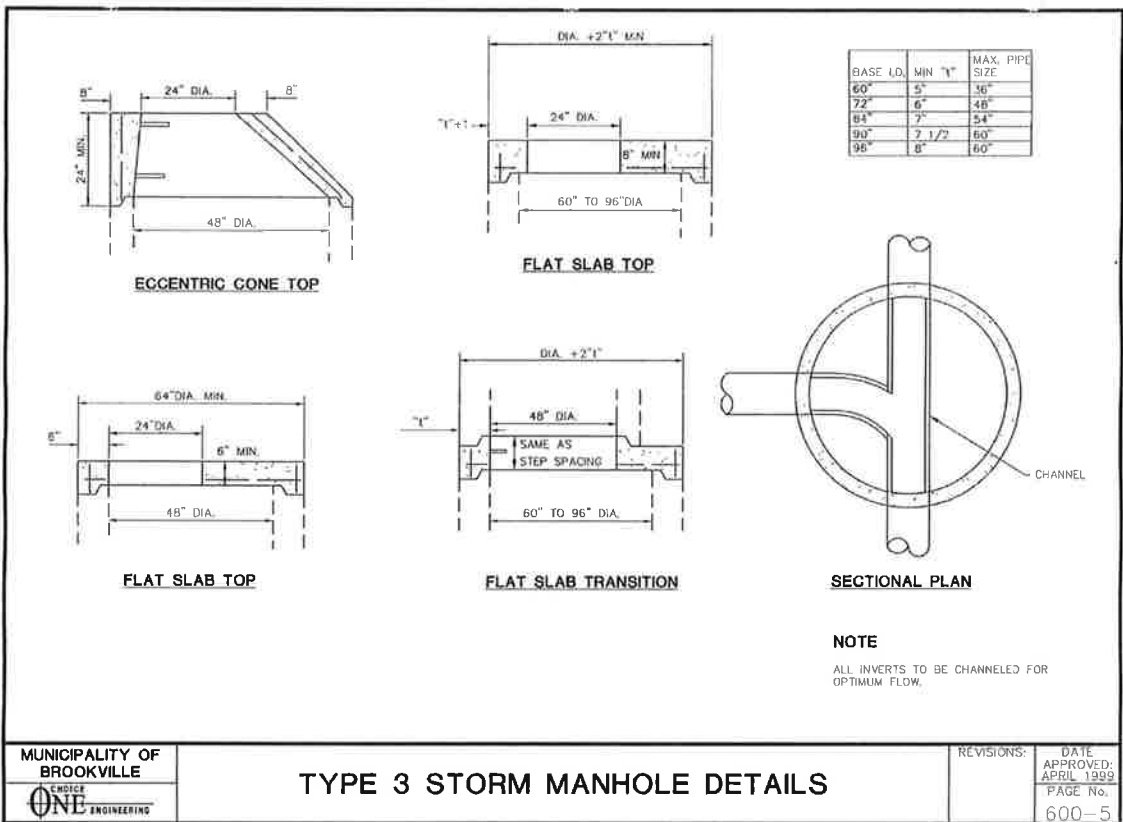
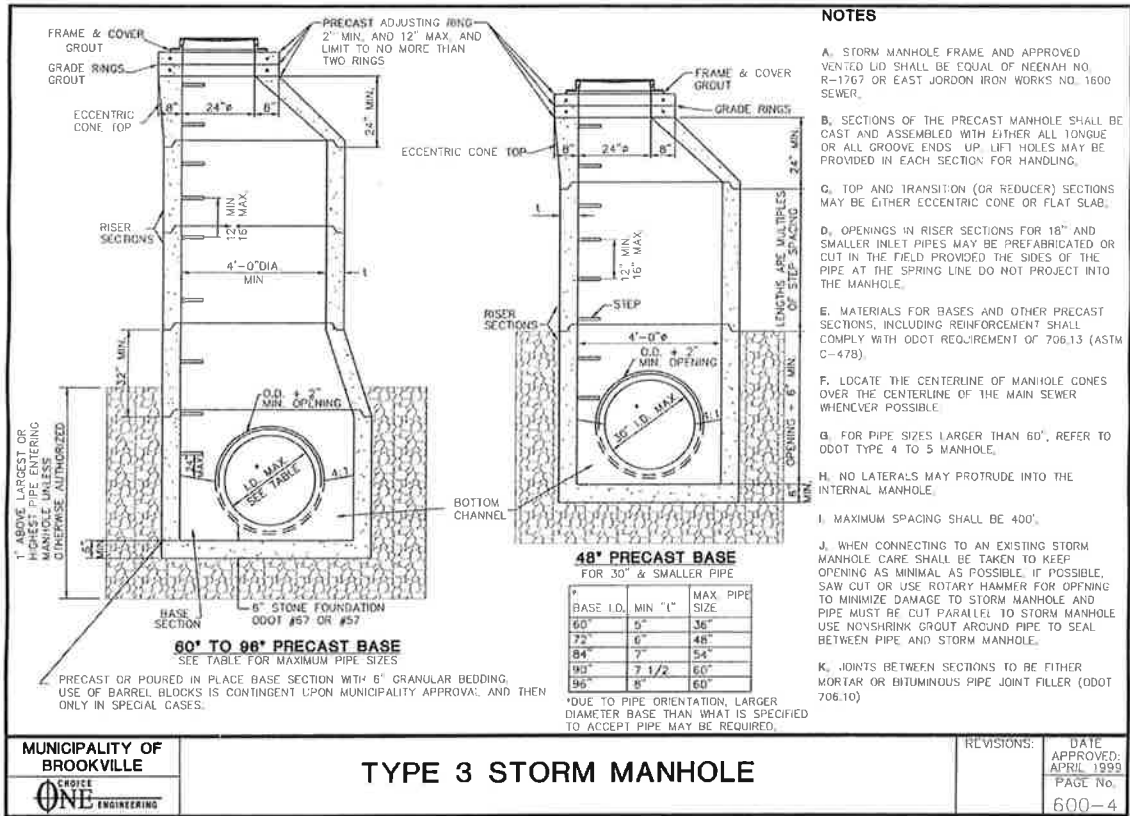
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RESIDENTIAL DRIVE APPROACH

ROADWAY DETAILS

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HARPER
CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

UTILITY DETAILS



ISSUE:	75/7660
REVIEW:	JEE
DATE:	08/12/2022
JOB NO.:	75/7660
DESIGN:	JEE
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B. SUMP PUMP OUTLETS WILL NOT BE ALLOWED TO DRAIN OVER OR THROUGH THE CURB.

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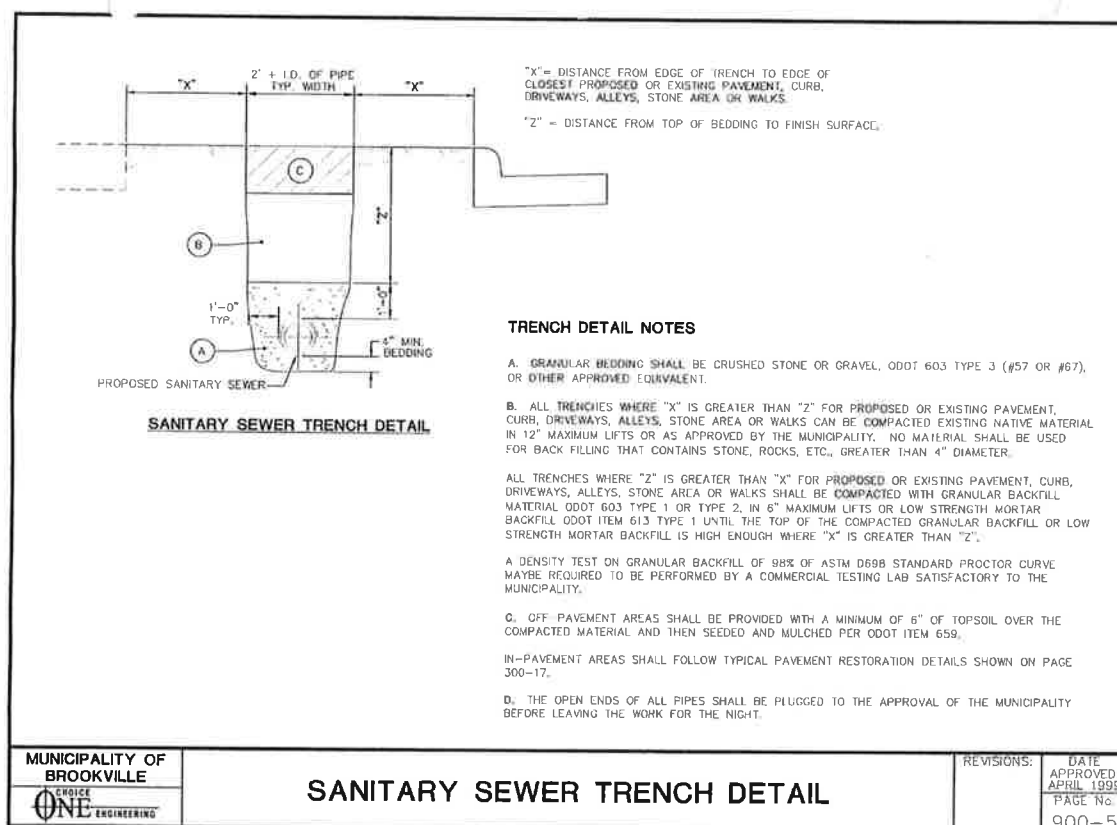
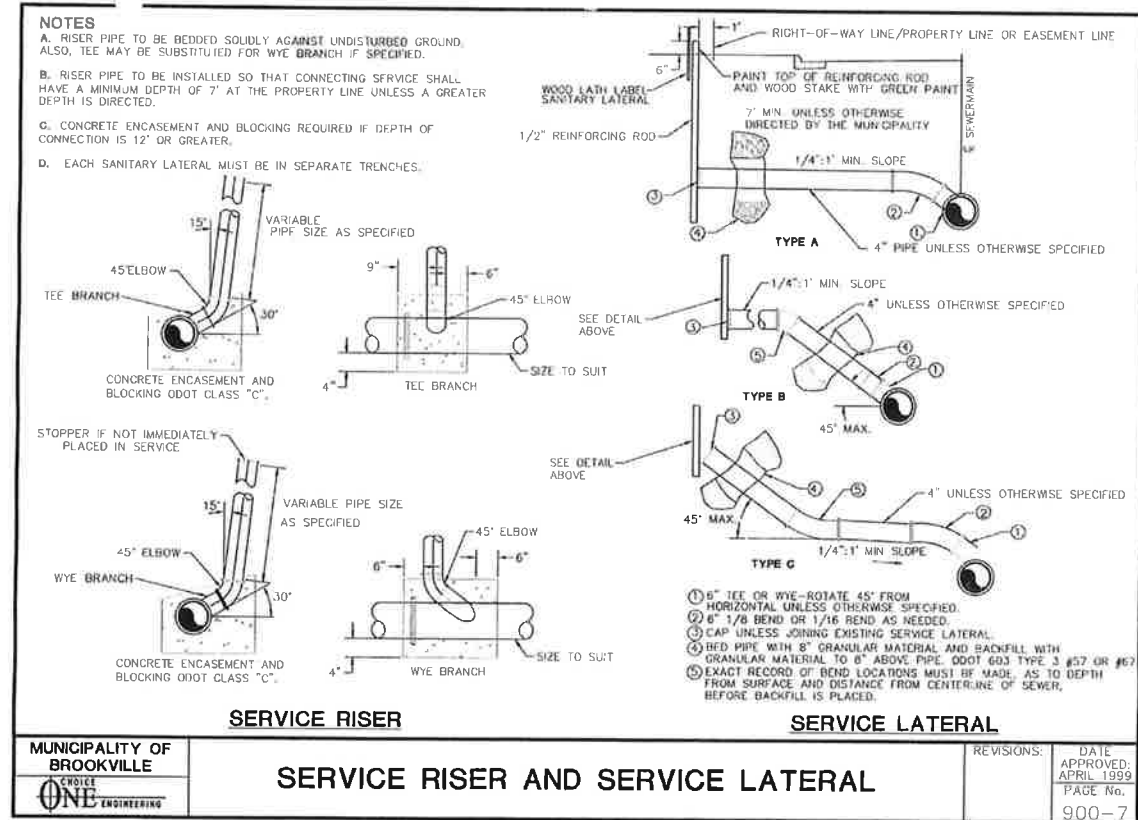
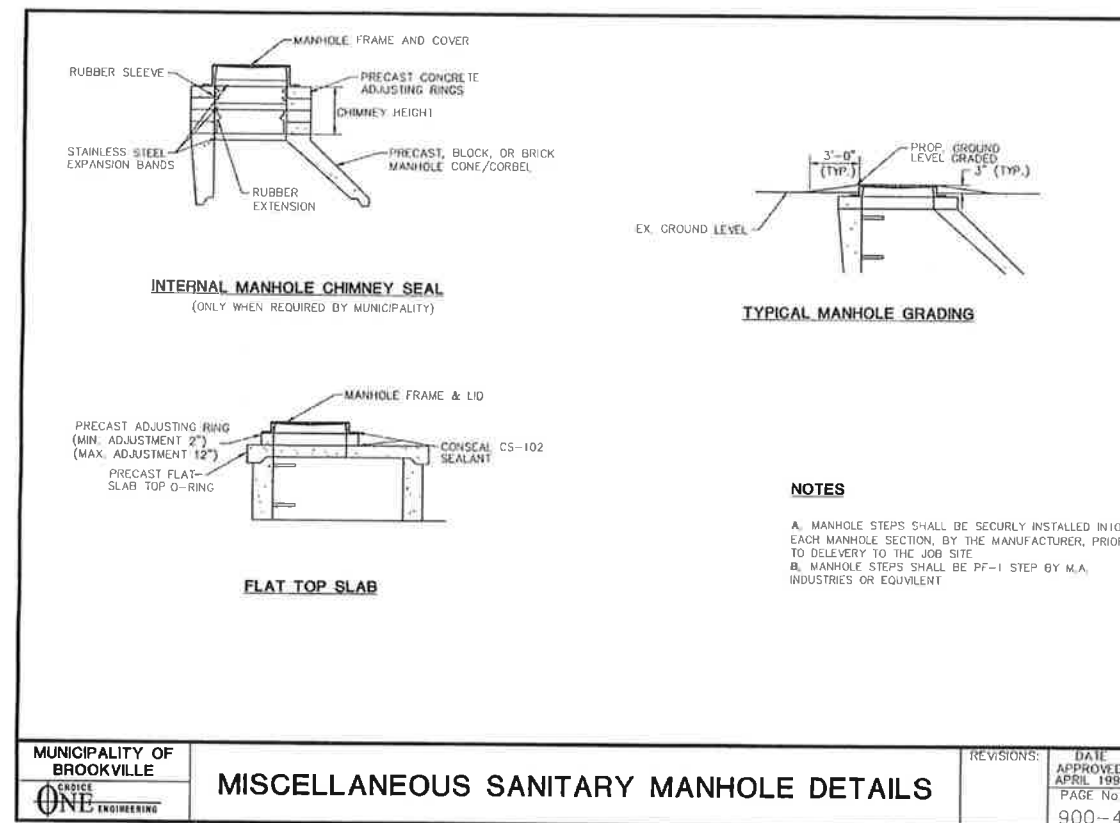
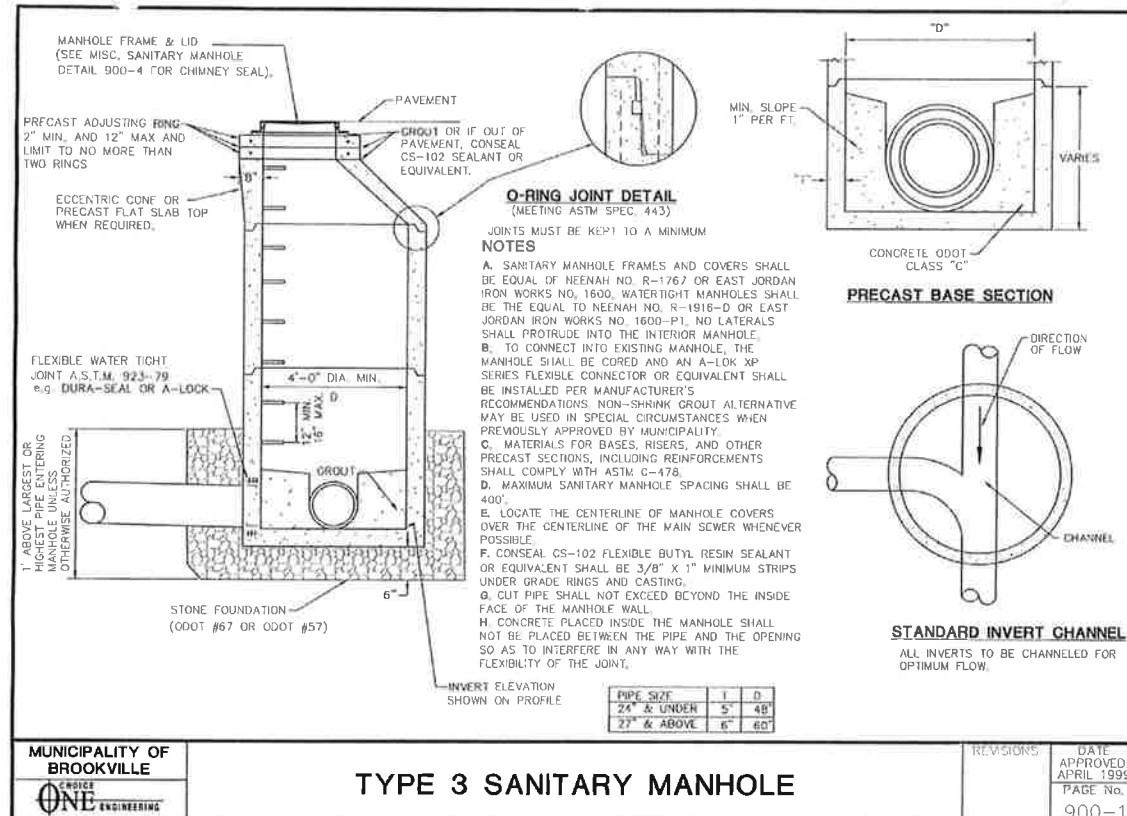
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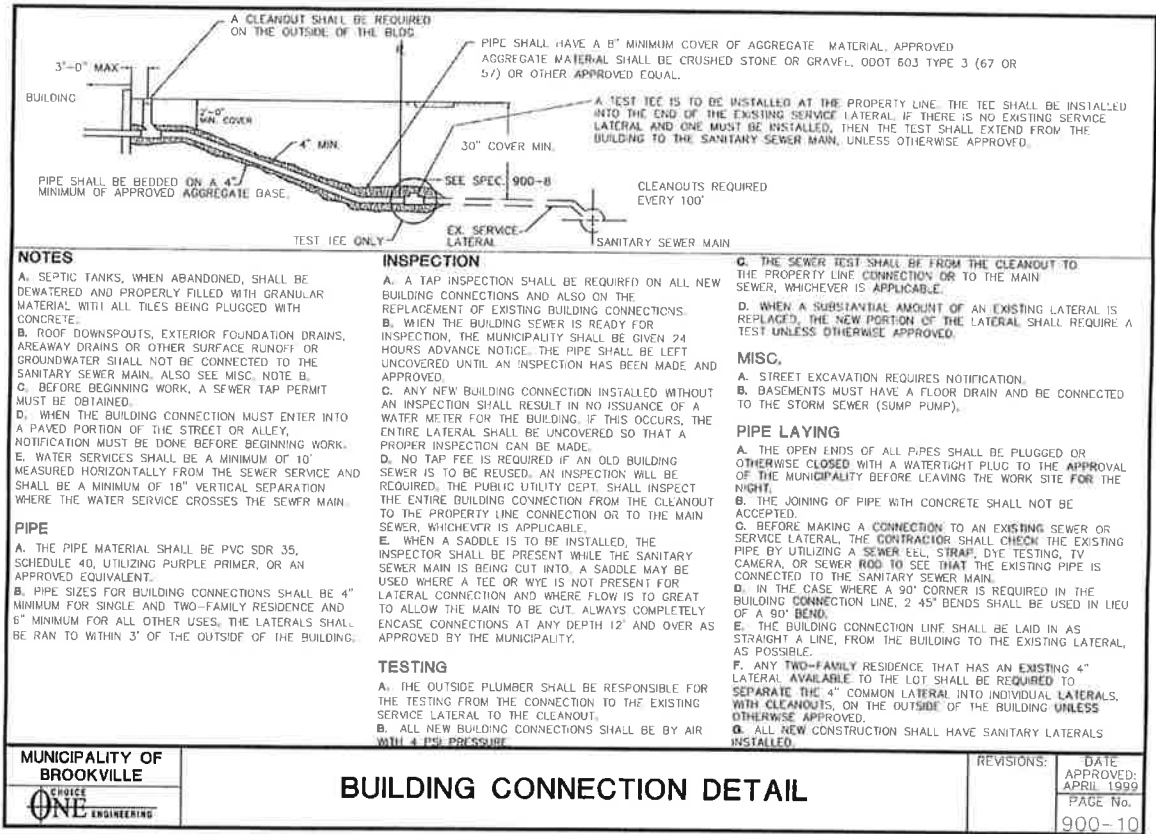


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BUILDING CONNECTION DETAIL

LOW PRESSURE AIR TEST

A. AFTER BACKFILLING, THE AIR TEST SHALL BE CONDUCTED BETWEEN TWO CONSECUTIVE MANHOLES. ALL PIPE OUTLETS MUST BE PLUGGED IN THE SECTION BEING TESTED WITH SUITABLE TEST PLUGS. ONE OF THE PLUGS USED AT A MANHOLE MUST BE TAPPED AND EQUIPPED FOR AN AIR INLET CONNECTION FOR FILLING THE LINE FROM THE AIR COMPRESSOR. AIR SHALL BE SUPPLIED SLOWLY TO THE TEST SECTION UNTIL THE INTERNAL PRESSURE REACHES APPROXIMATELY 4 PSI. IF THE PIPE IS BELOW EXISTING GROUNDWATER LEVEL, THE INTERNAL PRESSURE SHALL BE INCREASED BY THE AVERAGE BACK PRESSURE OF ANY GROUNDWATER THAT MAY BE OVER THE PIPE, BUT IN NO CASE SHOULD THE INTERNAL PRESSURE EXCEED 5 PSI.

B. AT LEAST 2 MINUTES SHALL BE ALLOWED FOR THE AIR PRESSURE TO STABILIZE. WHEN THE PRESSURE HAS STABILIZED AND IS AT OR ABOVE 3.5 PSI, THE AIR SUPPLY SHALL BE DISCONNECTED AND TAPPING SHALL BEGAIN WITH A STOP WATCH. THE STOP WATCH SHALL BE ALLOWED TO RUN UNTIL THE PRESSURE HAS DROPPED 1.0 PSI. IF THE TIME SHOWN ON THE STOP WATCH IS GREATER THAN THE SPECIFIED MINIMUM TIME, THE SECTION SHALL BE CONSIDERED TO HAVE PASSED THE TEST. TIME MAY BE INTERPOLATED FROM THE FIGURES LISTED BELOW.

PIPE DIA. (IN.)	100 FT.	150 FT.	200 FT.	250 FT.	300 FT.
4	1:53	1:53	1:53	1:53	1:53
6	2:30	2:30	2:50	2:50	2:50
8	3:47	3:47	3:47	3:47	3:48
10	4:43	4:43	4:43	4:57	5:56
12	5:40	5:40	5:42	7:08	8:33
15	7:05	7:05	8:54	11:08	13:21
18	8:30	9:37	12:49	16:01	19:41
21	9:55	13:05	17:27	21:49	26:11
24	11:24	17:57	22:48	28:30	34:11

SPECIFICATION TIME FOR LENGTH (L) SHOWN (MIN-SEC)

DEFLECTION TEST

A. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE OTHER THAN SERVICE LATERALS. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM.

B. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF DEFLECTION EXCEEDS 5%, REPLACEMENT OR CORRECTION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF APPROVING AGENCY.

C. THE RIGID BALL OR WANDREL USED FOR THE DEFLECTION TEST SHALL HAVE A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE DEPENDING ON WHICH IS MANUFACTURED. THE PIPE SHALL BE MEASURED IN COMPLIANCE WITH ASTM D-2122 STANDARD TEST METHOD OF DETERMINING DIMENSIONS OF THERMOPLASTIC PIPE AND FITTINGS. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

ALL SANITARY SEWER TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR.

MANHOLE VACUUM TEST

ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED USING THE FOLLOWING PROCEDURES FROM ASTM C-1244.

A. PREPARATION OF THE MANHOLE

1. ALL LIFT HOLES SHALL BE PLUGGED.

2. ALL PIPES ENTERING THE MANHOLE SHALL BE TEMPORARILY PLUGGED TAKING CARE TO SECURELY BRACE THE PIPES AND PLUGS TO PREVENT THEM FROM BEING DRAWN INTO THE MANHOLE.

B. PROCEDURE

1. THE FIRST HEAD SHALL BE PLACED AT THE TOP OF THE MANHOLE IN THE CASTING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

2. A VACUUM OF 10" OF MERCURY (4.9 PSI) SHALL BE DRAWN ON THE MANHOLE. THE VALVE ON THE VACUUM LINE OF THE TEST HEAD CLOSED, AND THE VACUUM PUMP SHUT OFF. THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9" OF MERCURY (4.9 PSI).

3. THE MANHOLE SHALL PASS IF THE TIME FOR THE VACUUM READING TO DROP FROM 10" OF MERCURY (4.9 PSI) TO 9" OF MERCURY (4.9 PSI) MEETS OR EXCEEDS THE VALUES INDICATED ON THE TABLE.

4. IF THE MANHOLE FAILS THE INITIAL TEST, NECESSARY REPAIRS SHALL BE MADE BY AN APPROVED METHOD. THE MANHOLE SHALL THEN BE RETESTED UNTIL A SATISFACTORY TEST IS OBTAINED.

DIAMETER, INCHES			
DEPTH (FT.)	48	60	72
TIME SECONDS			
8 OR LESS	20	26	33
10	25	33	41
12	30	39	49
14	35	46	57
16	40	52	67
18	45	58	73
20	50	65	81
22	55	72	88
24	59	78	97
26	64	85	105
28	69	91	113
30	74	98	121

MINIMUM TEST TIMES FOR VARIOUS MANHOLE DIAMETERS

MUNICIPALITY OF BROOKVILLE
CHOICE ONE ENGINEERING

SANITARY SEWER TESTING NOTES

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NOTES

A. NO WORK SHALL BE APPROVED OR ACCEPTED BY THE MUNICIPALITY UNLESS 2 WORKING DAYS NOTICE OF COMMENCING WORK IS GIVEN TO THE MUNICIPALITY.

B. ALL TEMPORARY PAVEMENT AND SIDEWALK SHALL BE MAINTAINED BY THE CONTRACTOR OR DEVELOPER AT HIS OWN EXPENSE IN A SUITABLE AND SAFE CONDITION FOR TRAFFIC UNTIL PERMANENT REPLACEMENT IS MADE OR THE PROJECT IS FINALLY ACCEPTED BY THE MUNICIPALITY.

C. ROOF DRAINS, FOUNDATION DRAINS, SUMP PUMPS, AND OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

D. WHEN SEWER CONSTRUCTION BEGINS, THE SEWER AT THE EXISTING MANHOLE SHALL BE PLUGGED BY AN APPROVED METHOD. NO PLUGS SHALL BE REMOVED UNTIL CONSTRUCTION IS COMPLETED AND THEN ONLY AS DIRECTED BY THE MUNICIPALITY.

E. RECONSTRUCTION OF SANITARY SEWERS SHALL INCLUDE THE MUNICIPALITY DYE TESTING AS DETERMINED BY THE MUNICIPALITY OF ALL PIPES TO BE CONNECTED TO THE NEW SEWER PRIOR TO BACKFILLING. TO DETERMINE IF ALL EXISTING SERVICES ARE CONNECTED AND ALL STORM WATER CONNECTIONS ARE ELIMINATED.

F. WHEN A CASTING OR OTHER PUBLIC PROPERTY IS ABANDONED IT REMAINS MUNICIPALITY PROPERTY.

G. NEW SEWERS MUST HAVE EPA PLAN APPROVAL.

EXCAVATION AND PIPE LAYING

A. THE LAYING OF THE PIPE SHALL COMMENCE AT THE LOWEST POINT, WITH THE BELL END LAID UPGRADE. THE PIPE SHALL BE CENTERED IN THE TRENCH AND ALL PIPE SHALL BE LAID WITH ENDS ADJUTING AND TRUE TO LINE AND GRADE.

B. LASER SHALL BE USED UNLESS OTHERWISE APPROVED.

UTILITY STAKING

A. LASER METHOD - OFFSET AND GRADE AT EACH MANHOLE, OFFSET AND GRADE 50' AND 100' OUT FROM EACH MANHOLE UNLESS OTHERWISE APPROVED.

TESTING

A. BEFORE ANY SEWER LINE IS PLACED INTO SERVICE OR ACCEPTED BY THE MUNICIPALITY, IT SHALL BE SUBJECTED TO AND PASS LOW PRESSURE AIR TEST. EACH RUN BETWEEN MANHOLES, WITH ALL SERVICE LATERALS STUBBED INTO PROPERTY LINES, SHALL BE TESTED BEFORE BEING ACCEPTED. THE CONTRACTOR OR DEVELOPER SHALL FURNISH ALL EQUIPMENT AND MATERIAL NECESSARY TO CONDUCT ALL SANITARY SEWER TESTING. THE TRENCH SHALL BE COMPLETELY BACKFILLED BEFORE TESTING.

B. SEE SANITARY TESTING NOTES.

C. BEFORE FINAL ACCEPTANCE BY THE MUNICIPALITY AND BEFORE ANY SERVICE LINE IS PUT INTO USE, ALL SANITARY SEWERS AND MANHOLES SHALL BE THOROUGHLY CLEANED OF ALL FOREIGN MATTER BY USE OF A SEWER-JET, OR EQUAL, TYPE OF EQUIPMENT.

HOUSE CONNECTIONS

A. NO SERVICE LINE SHALL BE ALLOWED TO CONNECT DIRECTLY INTO A MANHOLE, SUBJECT TO APPROVAL BY THE MUNICIPALITY IN SPECIFIC CASES.

B. THE ENDS OF ALL SERVICE LINES OR TEES SHALL BE ACCURATELY STAKED, LOCATED, MAPPED, AND GIVEN TO THE MUNICIPALITY WITHIN 15 DAYS AFTER INSTALLATION.

C. BEFORE MAKING A CONNECTION TO AN EXISTING SEWER TAP OR SEWER LATERAL, THE CONTRACTOR SHALL CHECK THE EXISTING PIPE BY UTILIZING A SEWER EEL, STRAP, OR SEWER CAMERA TO SEE THAT THE EXISTING PIPE IS CONNECTED TO THE MAIN SEWER. IF NECESSARY, THE MUNICIPALITY WILL PROVIDE AT THE CONTRACTOR'S EXPENSE, A HYDRAULIC SEWER CLEANER WHICH WILL PRODUCE LARGE VOLUMES OF WATER TO CHECK THE LATERAL.

D. LATERALS FROM THE MAIN TO THE PROPERTY LINE SHALL BE 4" MINIMUM WITH CLEANOUT AT THE PROPERTY LINE.

E. A PERMIT TO OPEN INTO, ALTER, OR DISTURB ANY PUBLIC SEWER MUST BE OBTAINED.

F. ALL ABANDONED SEWER LATERALS SHALL BE CAPPED AT THE OWNER'S EXPENSE. AN INSPECTION SHALL BE MADE AND THE CAPS STAKED.

PIPE

A. ALL PIPE AND SPECIALS SHALL BE PVC SDR-35 UNLESS OTHERWISE APPROVED BY THE MUNICIPALITY. MINIMUM DIAMETER OF PIPE SHALL BE 8".

B. DUCTILE IRON PIPE WILL BE USED IN STREAM CROSSINGS AND WHERE MINIMUM SEPARATION CAN NOT BE MAINTAINED.

C. ALL JOINTS SHALL BE OF THE BELL AND SPIGOT TYPE, THE BELLS BEING FORMED INTEGRALLY WITH THE PIPE. THE BELL SHALL CONTAIN A FACTORY INSTALLED ELASTOMERIC GASKET WHICH IS POSITIVELY RETAINED. NO SOLVENT CEMENT JOINTS WILL BE PERMITTED IN FIELD CONSTRUCTION EXCEPT AS SPECIFICALLY AUTHORIZED BY THE MUNICIPALITY.

FLEXIBLE PIPES

POLYVINYL CHLORIDE
ASTM D-3034 (SDR-35)
PIPE STIFFNESS = 46PSI

DUCTILE IRON
ANSI A-21.51 & AWWA C-151

1. SDR = OUTSIDE DIAMETER DIVIDED BY WALL THICKNESS.

2. THE SPECIFICATIONS ABOVE SHALL BE THOSE MOST RECENTLY ADOPTED BY THE APPROPRIATE STANDARDS SETTING ORGANIZATIONS.

JOINT SPECIFICATIONS

ELASTOMERIC GASKET
ASTM D-3212

ANSI A-21.11 & AWWA C-111

MUNICIPALITY OF BROOKVILLE
CHOICE ONE ENGINEERING

MISCELLANEOUS SANITARY SEWER NOTES

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DATE: 08/12/2022
JOB NO.: 757660
DESIGN: JEE
DRAWN: SJS
CHECKED: JEE

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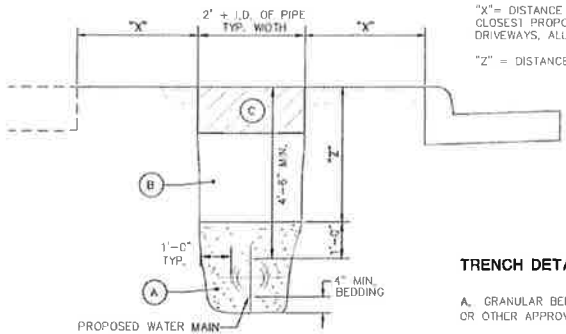
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HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

SANITARY DETAILS



WATER MAIN TRENCH DETAIL

TRENCH DETAIL NOTES

A. GRANULAR BEDDING SHALL BE CRUSHED STONE OR GRAVEL, ODOT 603 TYPE 3 (#57 OR #67), OR OTHER APPROVED EQUIVALENT.

B. ALL TRENCHES WHERE "X" IS GREATER THAN "Z" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREA OR WALKS CAN BE COMPACTED EXISTING NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE MUNICIPALITY. NO MATERIAL SHALL BE USED FOR BACK FILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 4" DIAMETER.

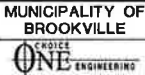
ALL TRENCHES WHERE "Z" IS GREATER THAN "X" FOR PROPOSED OR EXISTING PAVEMENT, CURB, DRIVEWAYS, ALLEYS, STONE AREA OR WALKS SHALL BE COMPACTED WITH GRANULAR BACKFILL MATERIAL ODOT 603 TYPE 1 OR TYPE 2, IN 6" MAXIMUM LIFTS OR LOW STRENGTH MORTAR BACKFILL ODOT ITEM 613 TYPE 1 UNTIL THE TOP OF THE COMPACTED GRANULAR BACKFILL OR LOW STRENGTH MORTAR BACKFILL IS HIGH ENOUGH WHERE "X" IS GREATER THAN "Z".

A DENSITY TEST ON GRANULAR BACKFILL OF 98% OF ASTM D698 STANDARD PROCTOR CURVE MAYBE REQUIRED TO BE PERFORMED BY A COMMERCIAL TESTING LAB SATISFACTORY TO THE MUNICIPALITY.

C. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED AND MULCHED PER ODOT ITEM 656.

IN-PAVEMENT AREAS SHALL FOLLOW TYPICAL PAVEMENT RESTORATION DETAILS SHOWN ON PAGE 300-17.

D. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED TO THE APPROVAL OF THE MUNICIPALITY BEFORE LEAVING THE WORK FOR THE NIGHT.



WATER MAIN TRENCH DETAIL

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MATERIAL SPECIFICATIONS

A. WATER MAIN SHALL BE AWWA C-151 DUCTILE IRON PIPE CLASS 51, SLIP-ON JOINTS WITH RUBBER GASKETS

B. BELL JOINT RESTRAINTS - FOR PVC, USE EBAA IRON SERIES 1500 OR EQUIVALENT. FOR DIP, USE FIELD LOCK BY US PIPE OR APPROVED EQUIVALENT.

C. MECHANICAL JOINT RESTRAINTS - EBAA IRON MEGALUG RETAINER GLAND OR EQUIVALENT.

D. FIRE HYDRANTS - SEC 800-1

E. GATE VALVES - AWWA C-509, RESILIENT WEDGE, NON-RISEING STEM, MECHANICAL JOINT, 150 PSI WORKING PRESSURE, CCW TO OPEN, WITH ARROW INDICATING OPEN DIRECTION.

F. VALVE BOXES - 3-PIECE CAST IRON 6" DIAMETER NOMINAL, ADJUSTABLE SCREW TYPE, COVER MARKED "WATER", DOMESTIC MADE ONLY.

G. DISINFECTION OR STERILIZATION OF NEW MAINS AND SERVICES, AS REQUIRED BY THE DEPA, SHALL BE COORDINATED THROUGH AND SUPERVISED BY THE SUPERINTENDENT OF THE SERVICE DEPARTMENT OR HIS DESIGNEE. THE SUPERINTENDENT RESERVES THE RIGHT TO REQUIRE STRICTER CHLORINE RESIDUAL REQUIREMENTS ON A CASE-BY-CASE BASIS.

AVG. TEST PRESSURE (PSI) BAR	ALLOWABLE LEAKAGE PER 1000 FT. (305M) OF PIPELINE (GPH+)														
	NOMINAL PIPE DIAMETER- INCHES														
450(31)	0.48	0.64	0.95	1.27	1.59	1.91	2.23	2.55	2.87	3.18	3.82	4.78			
400(28)	0.45	0.60	0.90	1.20	1.50	1.80	2.10	2.40	2.70	3.00	3.60	4.50			
350(24)	0.42	0.56	0.84	1.12	1.40	1.69	1.97	2.25	2.53	2.81	3.37	4.21			
300(21)	0.38	0.52	0.78	1.04	1.30	1.55	1.82	2.08	2.34	2.60	3.12	3.90			
275(19)	0.37	0.50	0.75	1.00	1.24	1.49	1.74	1.99	2.24	2.49	2.99	3.73			
250(17)	0.36	0.47	0.71	0.95	1.19	1.42	1.66	1.90	2.14	2.37	2.85	3.56			
225(16)	0.34	0.45	0.68	0.90	1.13	1.35	1.58	1.80	2.03	2.25	2.70	3.38			
200(14)	0.32	0.43	0.64	0.85	1.06	1.28	1.48	1.70	1.91	2.12	2.55	3.19			
175(12)	0.30	0.40	0.59	0.80	0.99	1.18	1.39	1.59	1.79	1.98	2.38	2.98			
150(10)	0.28	0.37	0.55	0.74	0.92	1.10	1.29	1.47	1.65	1.84	2.21	2.76			



WATER MAIN MATERIAL AND TESTING

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HYDROSTATIC TEST

A. AFTER THE PIPE HAS BEEN LAID AND BACKFILLED, ALL NEWLY LAID PIPE OR VALVED SECTION, SHALL BE SUBJECTED TO HYDROSTATIC PRESSURE AND LEAKAGE TEST. ALL WATER MAINS MUST BE HYDROSTATICALLY TESTED (AWWA C-600). THE TESTS MUST BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE MUNICIPALITY OF GERMANTOWN. THE LEAKAGE TEST PRESSURE SHALL BE NOT LESS THAN 150 PSI. THE DURATION OF THE LEAKAGE TEST SHALL NOT BE LESS THAN 2 HOURS. HYDROSTATIC PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP TAKING WATER FROM AN AUXILIARY SUPPLY. ALL PIPING MUST BE PROPERLY FILLED AND FLUSHED TO DISPEL ALL AIR BEFORE THE TEST IS MADE USING POTABLE WATER. TESTING REQUIREMENTS FOR FIRE SUPPRESSION SYSTEMS SHALL BE IN ACCORDANCE TO THE REQUIREMENT OF THE MUNICIPALITY'S DIVISION OF FIRE.

B. LEAKAGE IS DEFINED AS THE QUANTITY OF WATER TO BE SUPPLIED INTO THE NEWLY LAID PIPE, OR ANY VALVED SECTION THEREOF, NECESSARY TO MAINTAIN THE SPECIFIED LEAKAGE TEST PRESSURE AFTER THE PIPE HAS BEEN FILLED WITH WATER AND THE AIR EXPELLED.

C. NO PIPE INSTALLATION WILL BE ACCEPTED IF THE LEAKAGE EXCEEDS THE LEAKAGE DETERMINED BY THE FOLLOWING FORMULA: $L = \frac{D}{7400} \sqrt{P}$

WHERE: n = NUMBER OF PIPE JOINTS
D = PIPE DIAMETER
P = TEST PRESSURE
L = ALLOWABLE LEAKAGE PER HOUR

THE FOLLOWING TABLE REPRESENTS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.

D. DURING THE HYDROSTATIC TEST, A THOROUGH EXAMINATION OF ALL PIPING, FITTINGS, VALVES, HYDRANTS, ETC. SHALL BE PERFORMED. LEAKING JOINTS SHALL BE TIGHTENED OR CRACKED OR OTHERWISE DEFECTIVE MATERIAL SHALL BE REMOVED AND REPLACED AND THE TEST SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

DISINFECTION

A. AFTER SATISFACTORY HYDROSTATIC TESTING, THE COMPLETED WATER WORK SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-651.

B. DISINFECTION OR STERILIZATION OF NEW MAINS AND SERVICES, AS REQUIRED BY THE DEPA, SHALL BE COORDINATED THROUGH AND SUPERVISED BY THE SUPERINTENDENT OF THE SERVICE DEPARTMENT OR HIS DESIGNEE. THE SUPERINTENDENT RESERVES THE RIGHT TO REQUIRE STRICTER CHLORINE RESIDUAL REQUIREMENTS ON A CASE-BY-CASE BASIS.

C. MAINTAIN PIPES FREE OF DIRT AND FOREIGN MATTER DURING CONSTRUCTION BY DEWATERING TRENCH AND SEALING OPEN PIPE BARRIERS. SWAB EACH LENGTH OF PIPE AS IT IS INSTALLED, UPON COMPLETION OF MAIN, ISOLATE MAIN SEGMENTS AND FLUSH PIPE AT 2 FPS VELOCITY.

D. STERILIZE MAIN IN ACCORDANCE WITH AWWA C-651. INJECT 3% TO 5% HYPOCHLORITE SOLUTION TO PROVIDE 50 TO 60 MG PER LITER CONCENTRATION IN MAIN. CHLORINE MAY BE PLACED IN EACH SECTION OF PIPE AT THE TIME OF INSTALLATION. SAMPLE WATER AT EACH HYDRANT OR IF NO HYDRANT IS AVAILABLE, AT A TAP IN THE PROPOSED LINE. ANALYZE SAMPLE USING DPD REAGENT TO VERIFY FREE CHLORINE CONCENTRATION. MAINTAIN CONCENTRATION IN MAIN FOR 48 HOURS. SAMPLE HYDRANTS AT COMPLETION OF STERILIZATION VERIFYING MINIMUM CHLORINE RESIDUAL OF 20 MG PER LITER.

E. FLUSH CHLORINE SOLUTION TO WASTE INTO SANITARY SEWER AT A CONTROLLED RATE, NOT TO EXCEED 25 GPM. IF CHLORINE RESIDUAL DROPS IN 10 MG PER LITER, FLUSH MAIN AT 2 FPS AND REPEAT STERILIZATION PROCEDURE.

F. WATER SAMPLES - PERFORM BACTERIOLOGICAL TEST PER AWWA C-651 WILL BE DRAWN AND PROCESSED BY THE MUNICIPALITY, IN THE EVENT OF DETECTION OF COLIFORM ORGANISM, REPEAT FLUSHINGS, STERILIZATION, AND SAMPLING OF MAINS UNTIL ACCEPTABLE TEST RESULTS ARE ACHIEVED. THIS IS TO BE PERFORMED PRIOR TO TRANSFER OF SERVICE.

NOTES

A. NO WORK SHALL BE APPROVED OR ACCEPTED BY THE MUNICIPALITY UNLESS 2 WORKING DAYS NOTICE OF COMMENCING WORK IS GIVEN TO THE MUNICIPALITY.

B. ALL TEMPORARY PAVEMENT AND SIDEWALK SHALL BE MAINTAINED BY THE CONTRACTOR OR THE DEVELOPER AT HIS OWN EXPENSE IN A SUITABLE AND SAFE CONDITION FOR TRAFFIC UNTIL PERMANENT REPLACEMENT IS MADE OR THE PROJECT IS FINALLY ACCEPTED BY THE MUNICIPALITY.

C. THE MINIMUM LENGTH OF PIPE NIPPLES SHALL BE 18"

D. ALL CUSTOMERS SHALL MEET BACKFLOW PREVENTION REQUIREMENTS AS PER STATE OF OHIO AND EPA REGULATIONS AND MUNICIPAL ORDINANCE.

E. ALL WATERLINE CONSTRUCTION SHALL FOLLOW THE MUNICIPAL STANDARDS, OHIO DEPARTMENT OF TRANSPORTATION ITEM 636, AND AWWA STANDARDS WHICHEVER IS MORE RESTRICTIVE AS DETERMINE BY THE MUNICIPALITY.

F. OPERATION OF MUNICIPALITY FIRE HYDRANTS, VALVES, METERS, SERVICES, STOPS, AND ALL OTHER MECHANICAL INFRASTRUCTURE ITEMS IS STRICTLY PROHIBITED.

G. ALL WATERMAINS SHALL HAVE A MINIMUM DEPTH OF 4'-6" AND A MAXIMUM DEPTH OF 6'-0" FROM TOP OF PIPE TO SURFACE UNLESS APPROVED BY MUNICIPALITY.

PIPE

A. ALL PIPE FITTINGS SHALL BE DUCTILE IRON.

WATER MAIN MINIMUM SIZE UNLESS OTHERWISE APPROVED	
RESIDENTIAL	8"
COMMERCIAL	10"
INDUSTRIAL	12"
BASED ON A WATERMAIN DESIGN THE MUNICIPAL MAY APPROVE A 6" MINIMUM FOR RESIDENTIAL	

C. ALL PIPE SHALL BE DIP, CLASS 51, AWWA C-151.

D. DEADENDS NOT PERMITTED UNLESS THEY ARE DEEMED NECESSARY BY THE MUNICIPAL ENGINEER AFTER A REVIEW OF A WATERMAIN DESIGN. WHEN APPROVED THEY SHALL BE TERMINATED WITH A FIRE HYDRANT AT THE END.



MISCELLANEOUS WATER NOTES

REVISIONS:	DATE APPROVED: APRIL 1999
	PAGE No. 800-6

EXCAVATION AND PIPE LAYING

A. THE OPEN ENDS OF ALL PIPES SHALL BE PLUGGED OR OTHERWISE CLOSED WITH A WATERTIGHT PLUG TO THE APPROVAL OF THE VILLAGE BEFORE LEAVING THE WORK FOR THE NIGHT AND AT OTHER TIMES OF INTERRUPTION OF THE WORK.

FITTINGS, VALVES AND HYDRANTS

A. FITTINGS OR SPECIALS IN SIZES 2" THROUGH 48" SHALL CONFORM TO ALL REQUIREMENTS OF ANSI A-21.10 (AWWA C-153). FITTINGS AND SPECIALS 12" AND SMALLER SHALL BE CLASS 250. LARGER FITTINGS AND SPECIALS SHALL BE CLASS 150. FITTINGS AND SPECIALS SHALL HAVE MECHANICAL JOINTS AND SHALL BE DUCTILE IRON.

MAXIMUM SPACING UNLESS OTHERWISE APPROVED	
HYDRANTS, VALVES	
SINGLE & TWO FAMILY RESIDENTIAL	800
INDUSTRIAL, COMMERCIAL & MULTIFAMILY	500

C. ALL TEE'S AND CROSSES SHALL BE VALVED IN EACH DIRECTION UNLESS OTHERWISE APPROVED.

D. NO VALVE SHALL BE OPERATED BY PERSONNEL OTHER THAN A REPRESENTATIVE EMPLOYED BY THE MUNICIPALITY.

UTILITY STAKING

A. OFFSETS EVERY 25' ON CURVES. OFFSETS EVERY 100' ON STRAIGHT SECTIONS. FLOW LINE OF WATER MAIN (CLT) MARKED EVERY 100' AND OFFSETS SHALL BE CLEARLY MARKED.

TESTING

A. TESTING OF FIRE SUPPRESSION LINES AND SYSTEMS SHALL ADHERE TO THE REQUIREMENTS OF THE MUNICIPALITY'S DIVISION OF FIRE AND ALL APPLICABLE STATE CODE.



REVISION DESCRIPTION

NO. DATE

HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

WATER DETAILS

ISSUE/REVIEW	DATE: 08/12/2022
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9



BROOKVILLE
LLIPSBURG ROAD

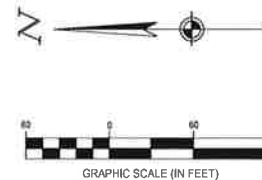
ALBERT ROAD
ROW WITH LARIES

UPPER LEWISBURG SALEM ROAD

MARKET STREET

LEGEND

- PROPOSED SANITARY SEWER MANHOLE LETTER
- PROPOSED STORM DRAIN STRUCTURE NUMBER
- PROPOSED WATER MAIN
- SAN EXISTING SANITARY SEWER
- ST EXISTING STORM DRAIN
- EXISTING WATER MAIN



REVISION DESCRIPTION

NO. DATE

HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

OVERALL UTILITY & INDEX MAP

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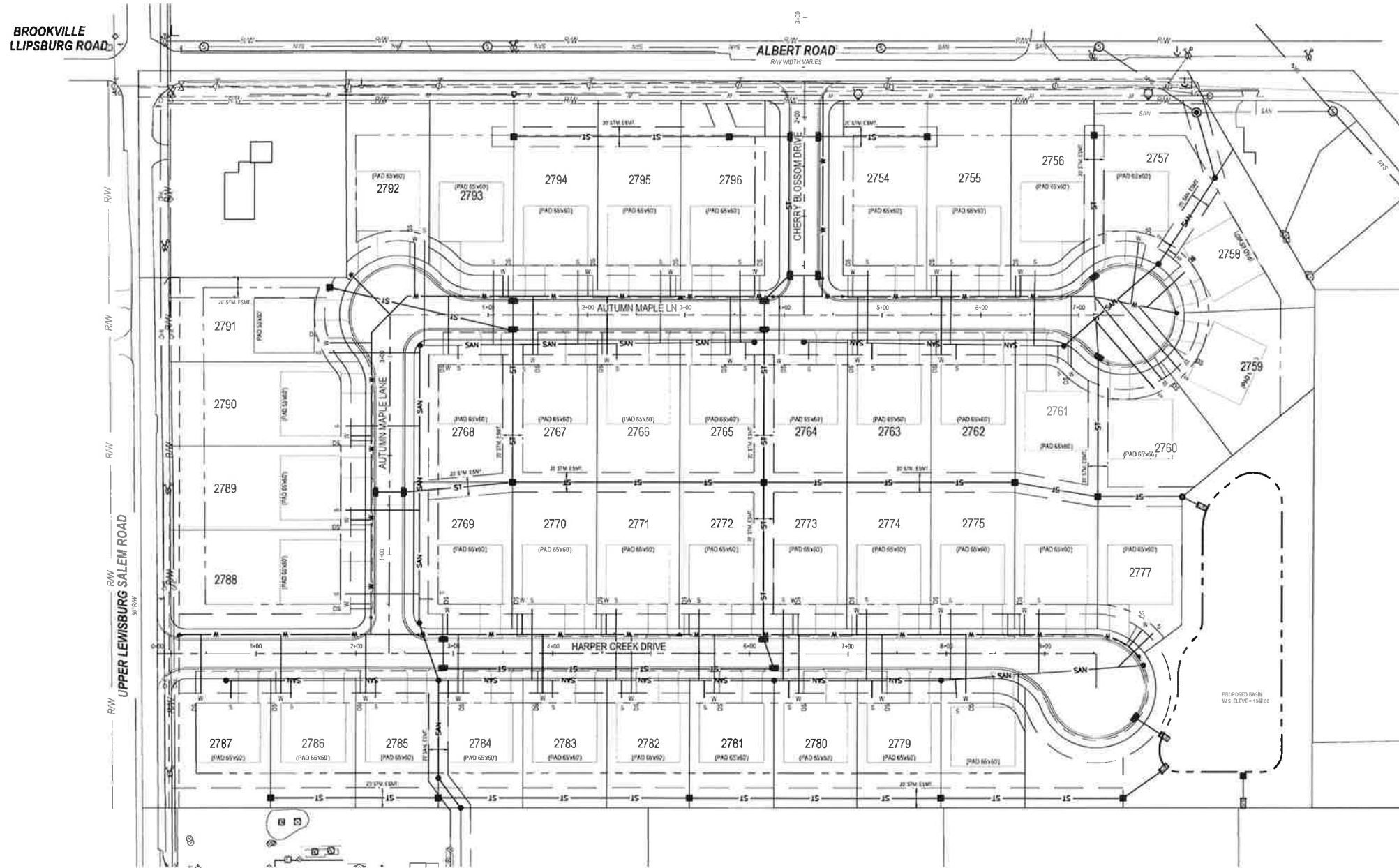
NO. DATE

HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

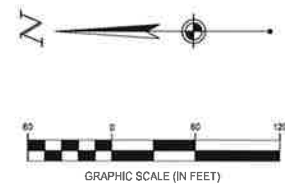
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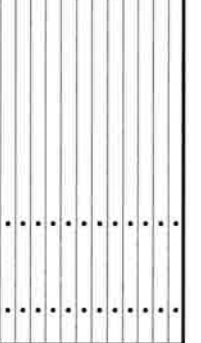
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LEGEND

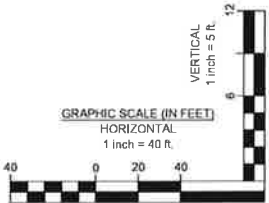
- PROPOSED SANITARY SEWER MANHOLE LETTER
- PROPOSED STORM DRAIN STRUCTURE NUMBER
- PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WATER MAIN





CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

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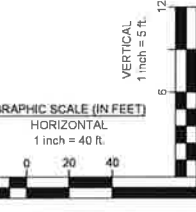
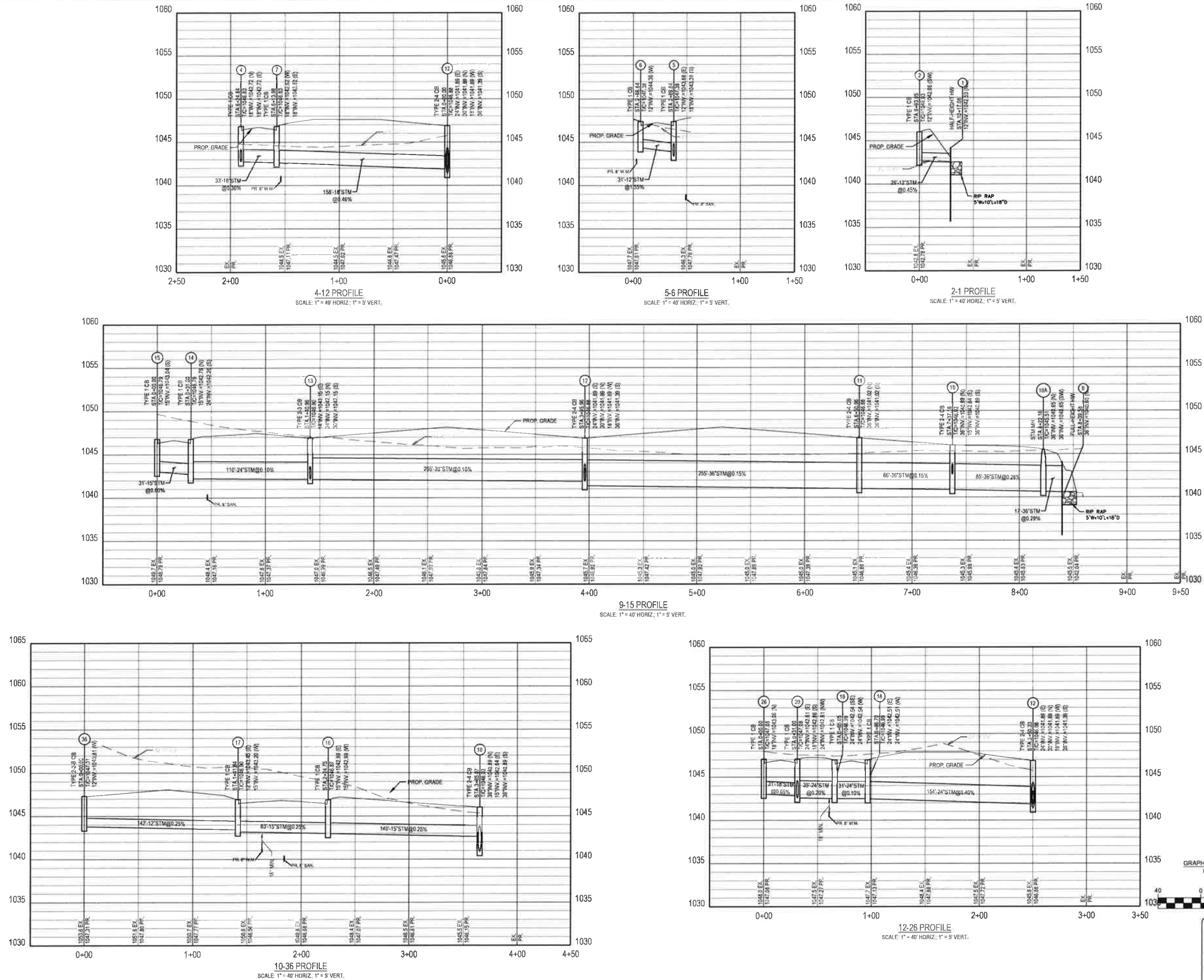


HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

OFFSTREET
PROFILES

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HARPER CREEK

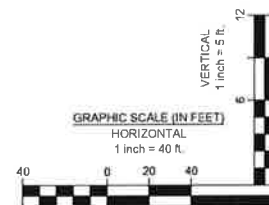
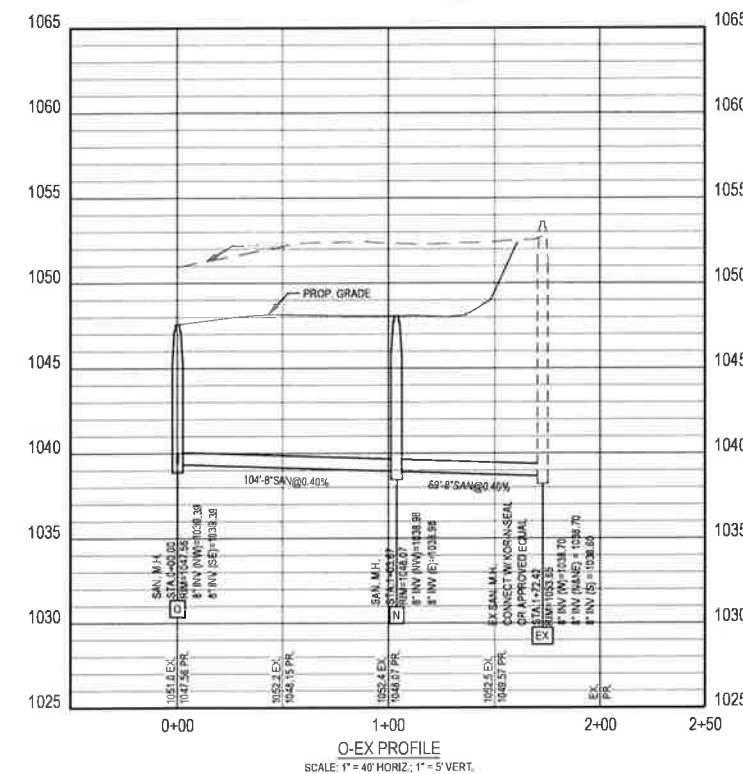
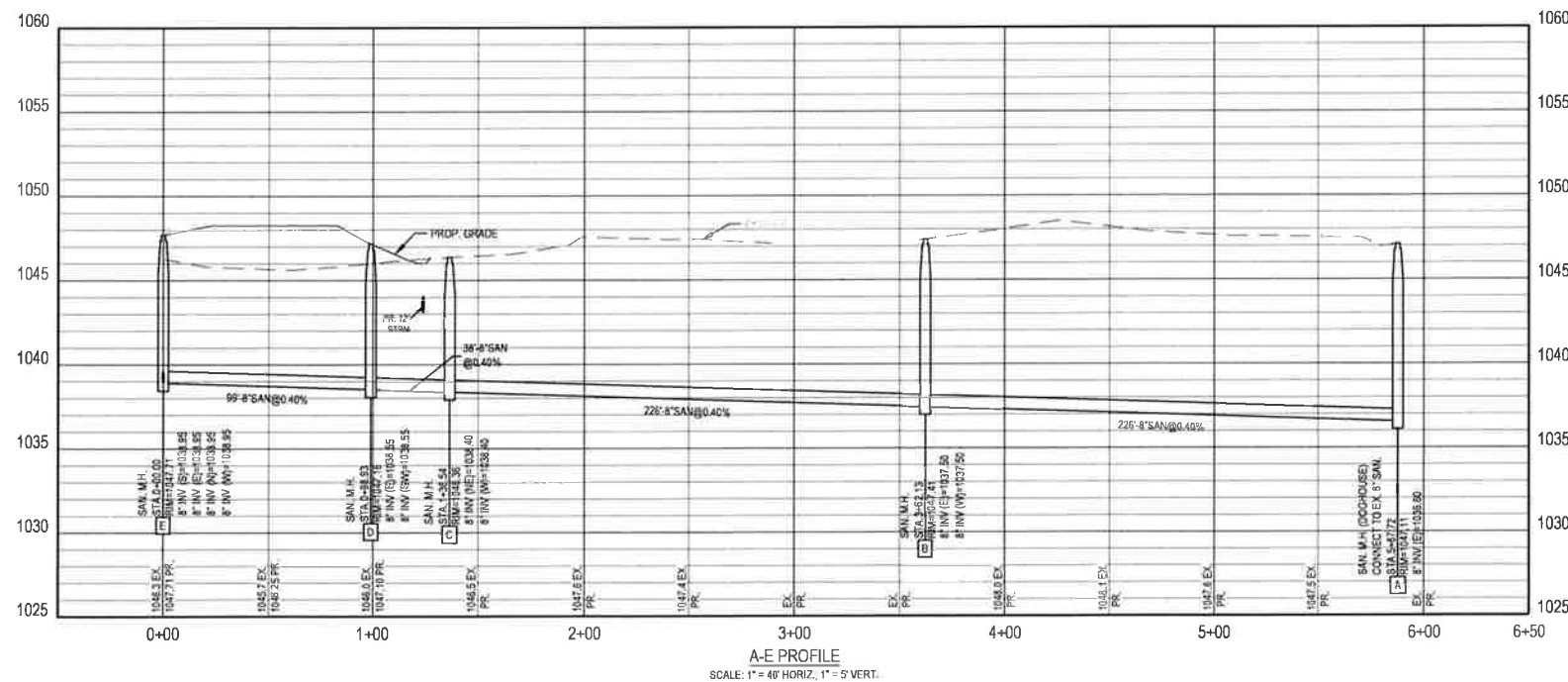
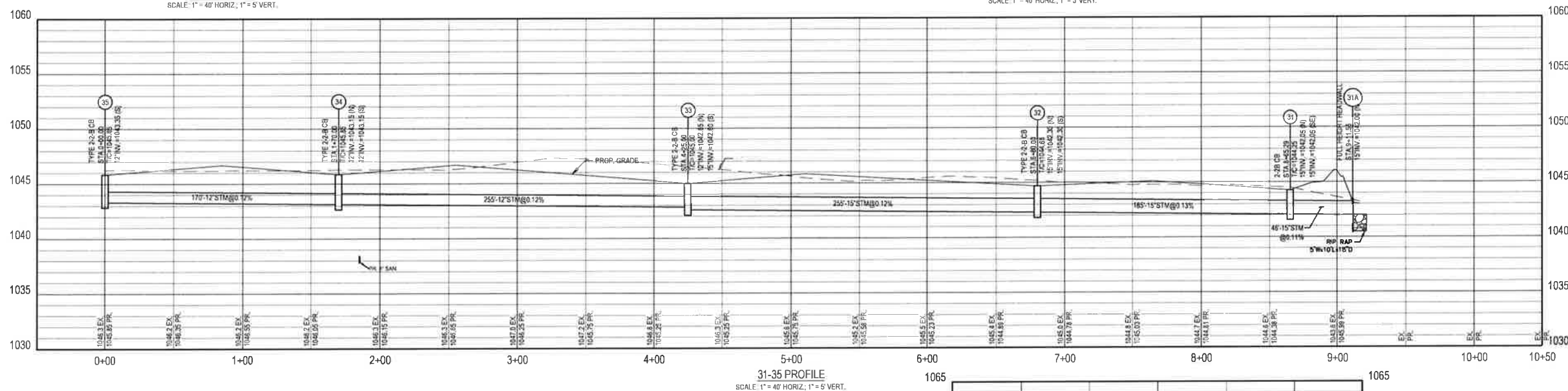
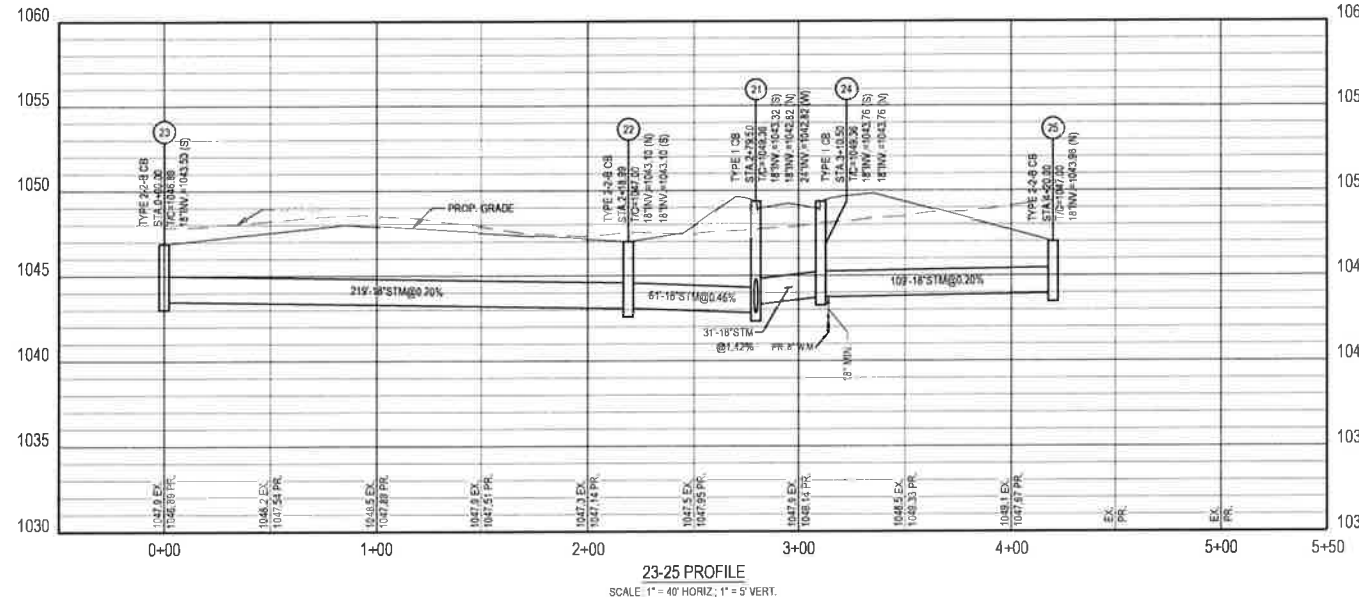
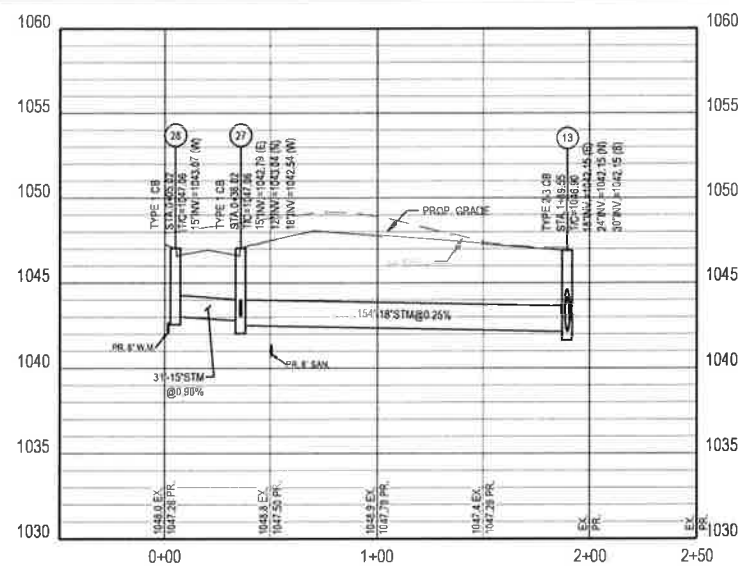
CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

OFFSTREET PROFILES

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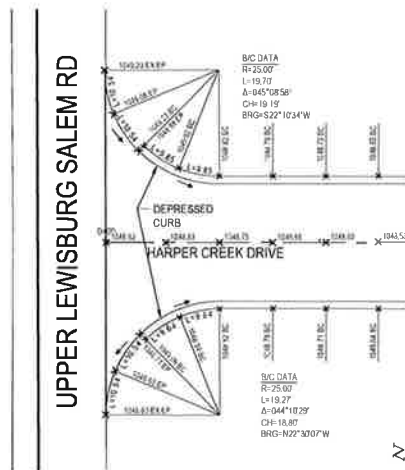
HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

INTERSECTION
DETAILS

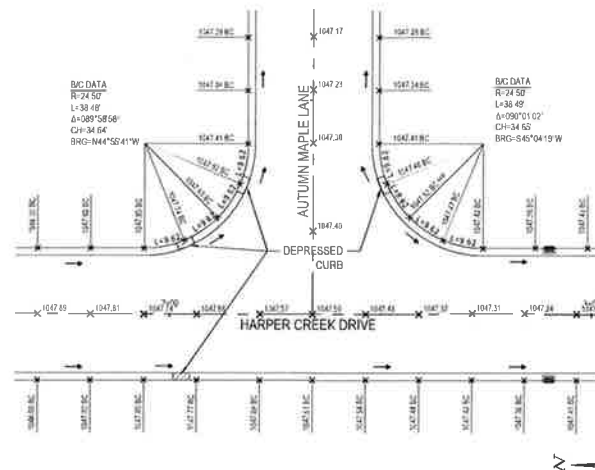


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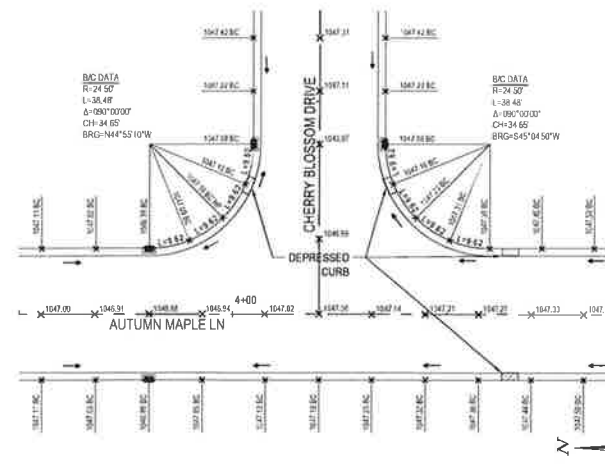
INTERSECTION DETAIL
UPPER LEWISBURG SALEM RD & HARPER CREEK DRIVE

NOTES:
ALL ELEVATIONS SHOWN ARE CENTERLINE OF FINISHED
PAVEMENT AND TOP OF CURB UNLESS OTHERWISE NOTED.
ALL CURB RAMPS TO BE CONSTRUCTED PER ADA STANDARDS.



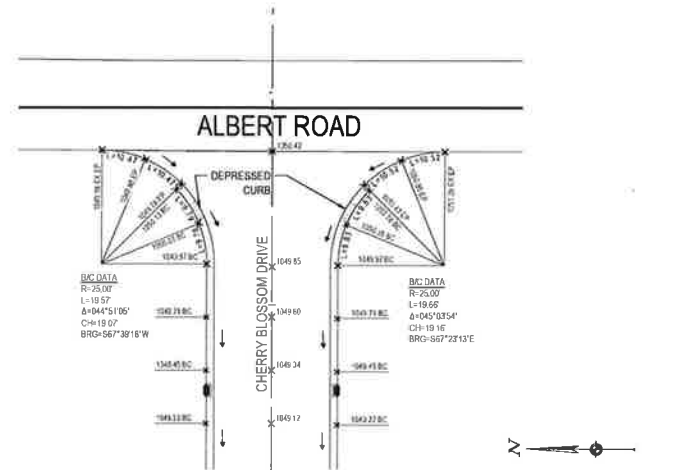
INTERSECTION DETAIL
HARPER CREEK DRIVE & AUTUMN MAPLE LANE

NOTES:
ALL ELEVATIONS SHOWN ARE CENTERLINE OF FINISHED
PAVEMENT AND TOP OF CURB UNLESS OTHERWISE NOTED.
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INTERSECTION DETAIL
AUTUMN MAPLE LN & CHERRY BLOSSOM DRIVE

NOTES:
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INTERSECTION DETAIL
ALBERT ROAD & CHERRY BLOSSOM DRIVE

NOTES:
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ALL CURB RAMPS TO BE CONSTRUCTED PER ADA STANDARDS.

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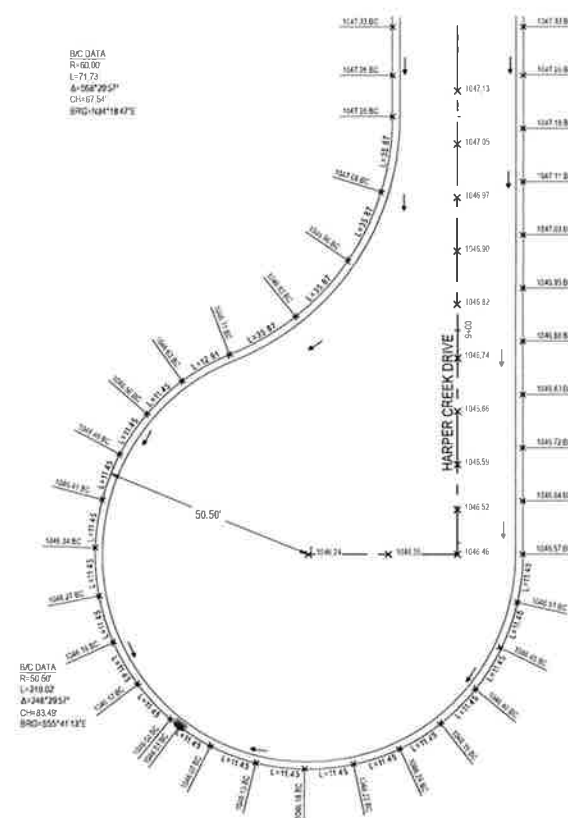
HARPER CREEK

CITY OF BROOKVILLE
MONTGOMERY COUNTY, OHIO

INTERSECTION DETAILS

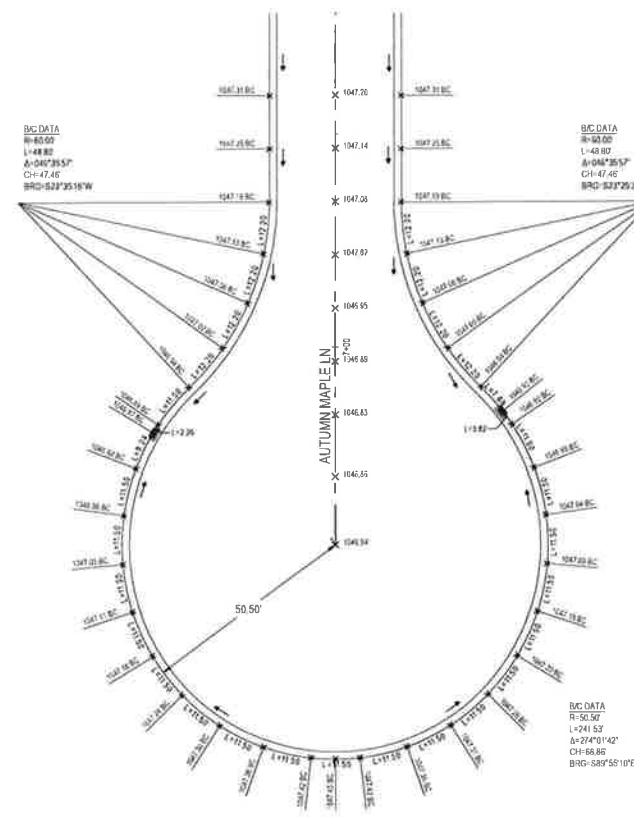
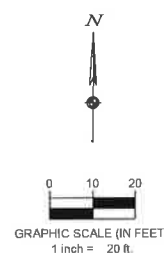
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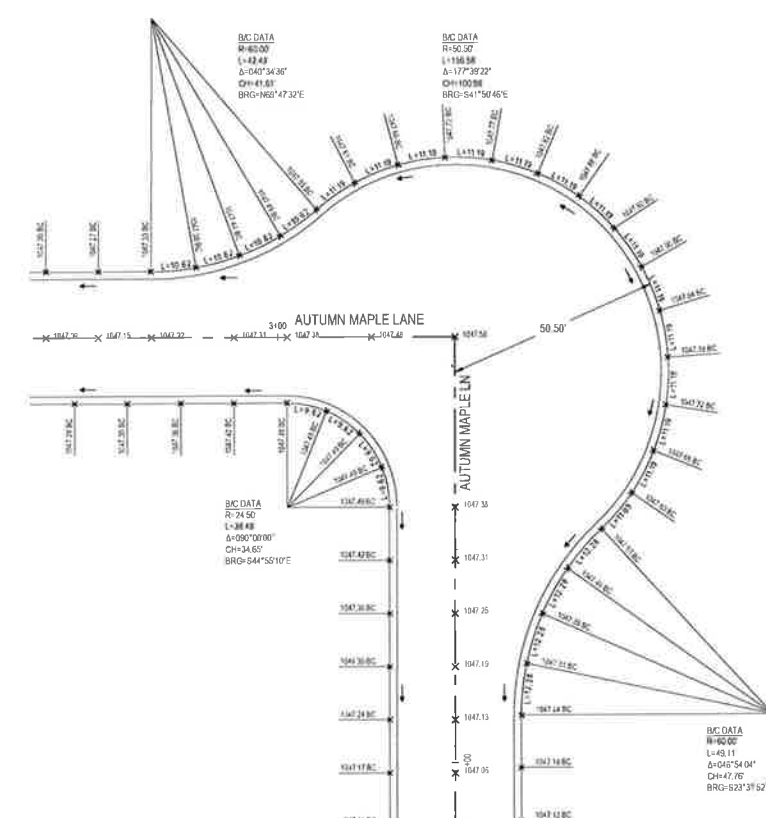
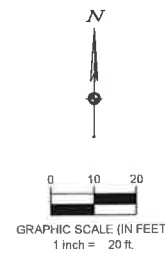
CULDESAC DETAIL
HARPER CREEK DRIVE

NOTES:
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PAVEMENT AND TOP OF CURB UNLESS OTHERWISE NOTED.
ALL CURB RAMPS TO BE CONSTRUCTED PER ADA STANDARDS.



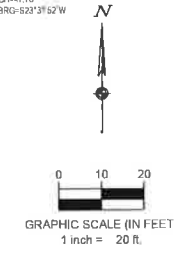
CULDESAC DETAIL
AUTUMN MAPLE LN

NOTES:
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KNUCKLE DETAIL
AUTUMN MAPLE LANE & AUTUMN MAPLE LN

NOTES:
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PAVEMENT AND TOP OF CURB UNLESS OTHERWISE NOTED.
ALL CURB RAMPS TO BE CONSTRUCTED PER ADA STANDARDS.



NPDES PERMIT
GENERAL
CONTRACTOR SHALL
REFERENCE OEPA GENERAL
PERMIT OH C000005 PRIOR TO
START OF CONSTRUCTION.

- NOTES
1. EROSION CONTROL PRACTICES SHALL BE INSTALLED BEFORE ANY MAJOR SOIL DISTURBANCE.
 2. THE EXPOSED SUB-GRADE AREAS SHOULD BE PROOF ROLLED AND ANY SOFT YIELDING AREA SHOULD BE UNDERCUT.
 3. ESTABLISH VEGETATION IN ALL BARE AREAS AS PER OEPA NPDES REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR NPDES INSPECTION DURING CONSTRUCTION PERIOD.

SWPPP LEGEND

PROPOSED

- | | |
|--|----------------------------------|
| | MAJOR CONTOUR |
| | MINOR CONTOUR |
| | SILT FENCE |
| | GRADING/SEEDING LIMITS |
| | LIMIT OF DISTURBANCE |
| | STABILIZED CONSTRUCTION ENTRANCE |
| | STORM MANHOLE |
| | CATCH BASIN |
| | CURB INLET |
| | STABILIZED CONSTRUCTION ENTRANCE |
| | TEMPORARY SEEDING |
| | PERMANENT SOD/SEEDING |
| | HAZARDOUS WASTE STORAGE AREA |
| | FUEL STORAGE AREA |
| | CONCRETE WASHOUT AREA |
| | INLET PROTECTION |
| | TRASH AREA |
| | FLOOD ROUTE |



BROOKVILLE
PHILLIPSBURG ROAD

ALBERT ROAD
R/W 30' H/VARIES

UPPER LEWISBURG SALEM ROAD
R/W 60' B/W

MARKET STREET
R/W 60' B/W



REVISION DESCRIPTION

NO. DATE

HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

GRADING &
EROSION
CONTROL PLAN -
PH I

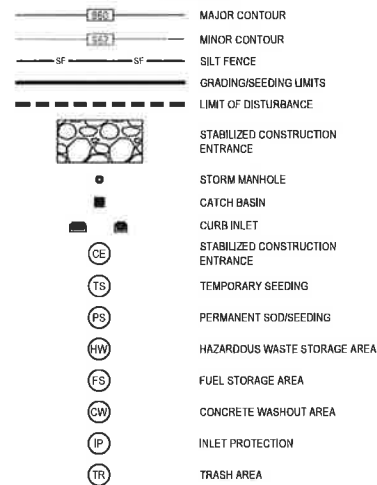
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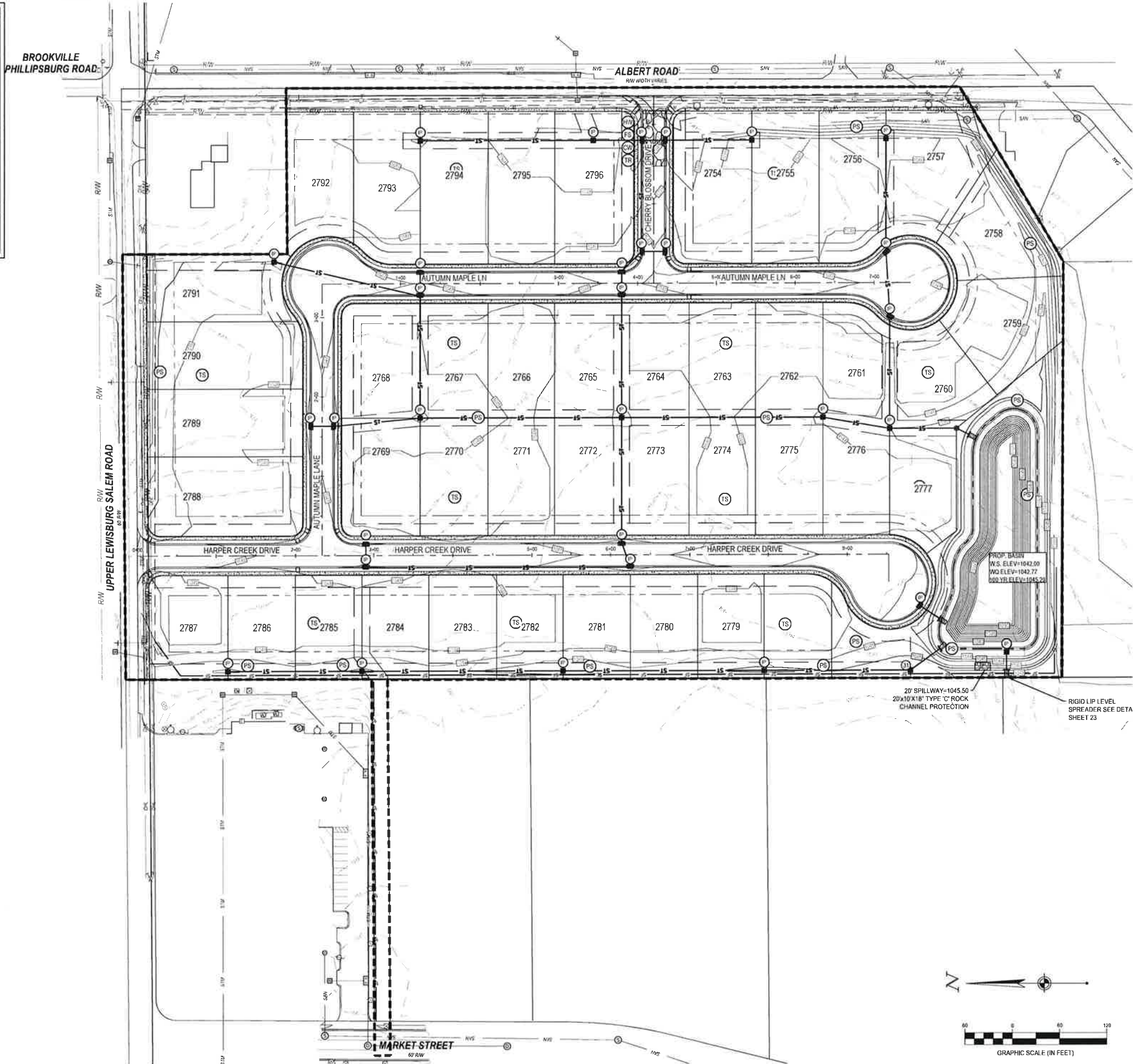
SWPPP LEGEND

PROPOSED



NOTES

1. EROSION CONTROL PRACTICES SHALL BE INSTALLED BEFORE ANY MAJOR SOIL DISTURBANCE.
2. THE EXPOSED SUB-GRADE AREAS SHOULD BE PROOF ROLLED AND ANY SOFT YIELDING AREA SHOULD BE UNDERCUT.
3. ESTABLISH VEGETATION IN ALL BARE AREAS AS PER OEPA N.P.D.E.S. REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR N.P.D.E.S. INSPECTION DURING CONSTRUCTION PERIOD.

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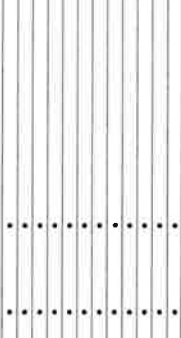
HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

GRADING &
EROSION
CONTROL PLAN -
PH II

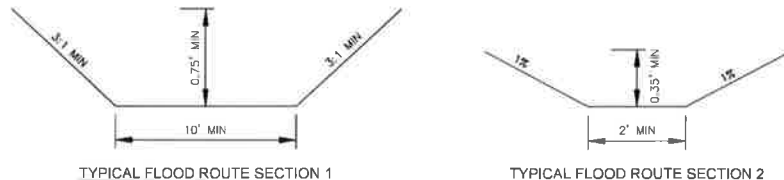
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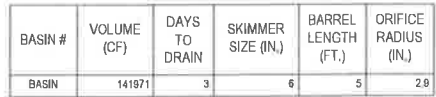
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CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

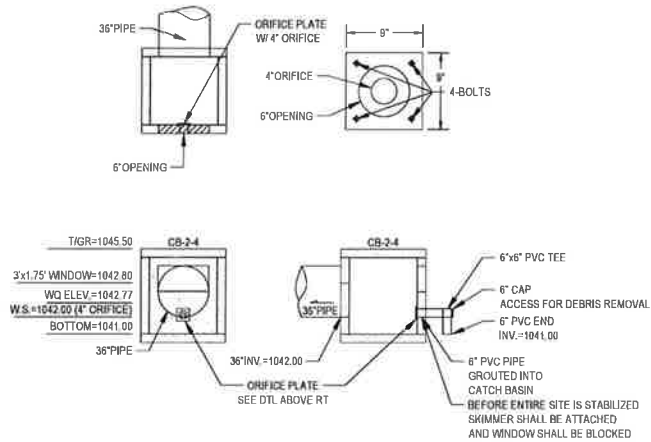
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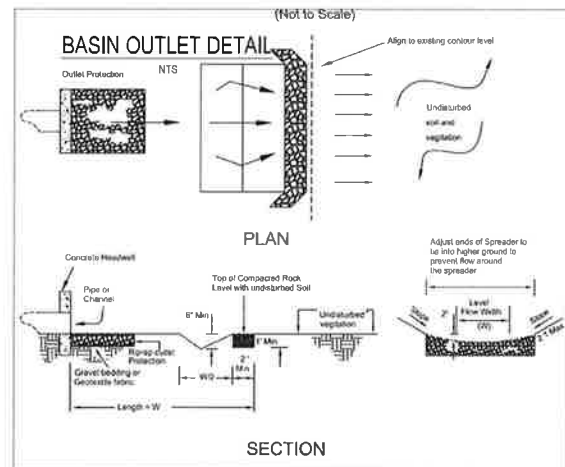


- ## SEDIMENT BASIN SKIMMER

SEDIMENT CONTROL VOLUMES								
POND	DRAINAGE AREA (AC)	DISTURBED AREA (AC)	REQUIRED DEWATERING ZONE VOLUME (CF)	REQUIRED SEDIMENT ZONE VOLUME (CF)	PROVIDED DEWATERING ZONE VOLUME (CF)	PROVIDED SEDIMENT ZONE VOLUME(CF)	DEWATERING ZONE (F1) 1042.00-1045.00	SEDIMENT STORAGE ZONE (FT)
BASIN	17.62	17.62	31,716	17,620	94,345	119,447	1042.00 - 1045.50	1029.00 - 1042.00



Specifications for **Rigid Lip Level Spreader**

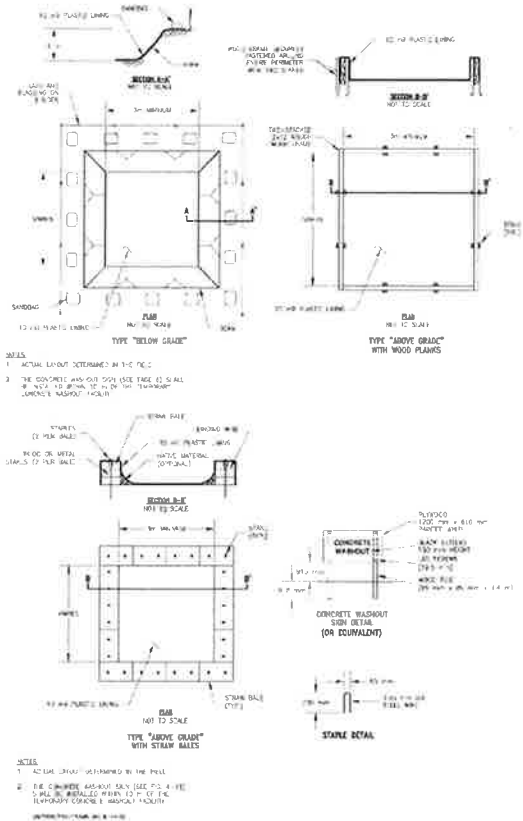


- | | |
|---|---|
| 1. Construct Level spreader on a level grade to ensure uniform spreading of storm runoff. | 5. Rock in level spreader shall be compacted with at least two passes of heavy machinery to prevent further settling |
| 2. Level spreaders shall be constructed on undisturbed soil, NOT on fill. | 6. Spread gravel or soil over top of the placed riprap surface to fill the voids and interlock the riprap together. |
| 3. The level spreader must outlet to erosion-resistant areas with established existing vegetation. | 7. Fertilizing, seeding, and mulching shall conform to the recommendations in the applicable vegetative specification |
| 4. Rock shall be DOT Type D where 50% of the material by weight is larger than 6 inches, and 65% of the material by weight is larger than 3 inches but less than 12 inches. | |

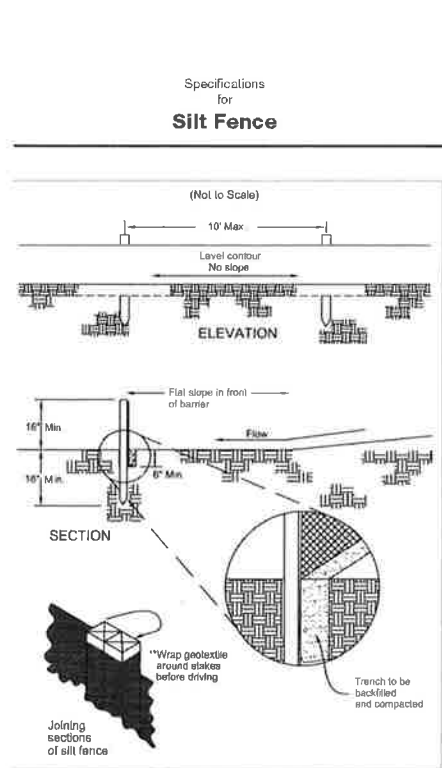
TYPICAL MAINTENANCE ACTIVITIES FOR BASINS		
SCHEDULE	INSPECTION ITEM	ACTIVITY
MONTHLY	INLET/OUTLET STRUCTURE & SIDE SLOPES	- DO NOT FERTILIZE VEGETATION SURROUNDING BASIN. - MOW SIDE SLOPES.
ANNUALLY (AND AFTER LARGE STORM EVENTS)	INLET/OUTLET STRUCTURE & SIDE SLOPES	- REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM INLET AND OUTLET STRUCTURES.
BI-ANNUALLY	STORMWATER BASIN	- CHECK FOR SIGNS OF EUTROPHIC CONDITIONS (ALGAE BUILD-UP). - NOTE SIGNS OF HYDROCARBON BUILD-UP, REMOVE APPROPRIATELY.
ANNUALLY (AND AFTER LARGE STORM EVENTS)	STORMWATER BASIN	- INSPECT FOR DAMAGE, PAYING PARTICULAR ATTENTION TO THE OUTLET CONTROL STRUCTURE. - MONITOR SEDIMENT ACCUMULATION IN THE FACILITY. - EXAMINE TO ENSURE INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND ARE OPERATIONAL. - INSPECT FOR INVASIVE VEGETATION IF WETLAND COMPONENTS INCLUDED.
ANNUALLY	STORMWATER BASIN SEDIMENT ACCUMULATION	- MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BECOME REDUCED SIGNIFICANTLY (25% OF PERMANENT POOL VOLUME LOST) OR THE POND BECOMES EUTROPHIC
ANNUALLY	BASIN EMBANKMENT	- REPAIR UNDERCUTTERODED AREAS AND STABILIZE.
ANNUALLY (AND AFTER LARGE STORM EVENTS)	STORM SEWER SYSTEM	- REMOVE DEBRIS FROM THE SEWER SYSTEM TO ENSURE POSITIVE FLOW TO THE BASIN.

BASIN DETAILS

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CONCRETE WASHOUT DETAILS



Specifications for Silt Fence

- Silt fence shall be constructed before upslope land disturbance begins.
- All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions that may carry small concentrated flows to the silt fence are dissipated along its length.
- Ends of the silt fences shall be brought upslope slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
- Silt fences shall be placed on the flattest area available.
- Where possible, vegetation shall be preserved for 5 feet (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
- The height of the silt fence shall be a minimum of 16 inches above the original ground surface.
- The silt fence shall be placed in an excavated or sloped trench cut a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, string machine, or other suitable device that will ensure an adequately uniform trench depth.
- The silt fence shall be placed with the stakes on the down-slope side of the geotextile. A minimum of 6 inches of geotextile must be below the ground surface. Excess material shall lay on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
- Seams between sections of silt fence shall be spliced together, only at a support post with a minimum 6-inch overlap prior to driving into the ground (see details).
- Maintenance—Silt fence shall allow runoff to pass only as effluent flow through the geotextile. If runoff overtops the silt fence, fabric shall be replaced or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed; 2) accumulated sediment shall be removed; or 3) other practices shall be installed.

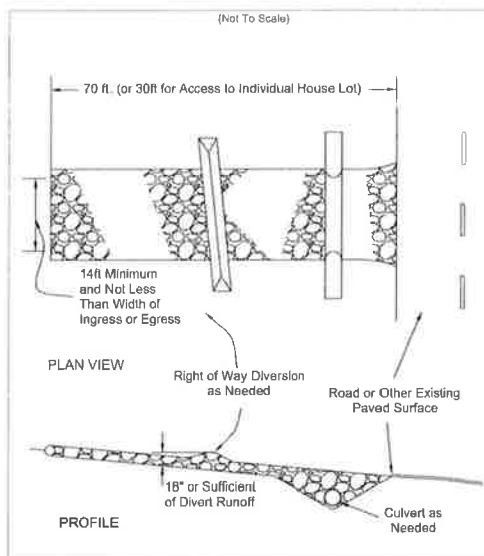
Criteria for silt fence materials

- Fence post—The length shall be a minimum of 32 inches. Wood posts will be 2 by 2-inch nominal dimensions, hardwood of sound quality. They shall be free of knots, splits and other visible imperfections that will weaken the posts. The maximum spacing between posts shall be 10 feet. Posts shall be driven a minimum 16 inches into the ground where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
- Silt fence fabric—See chart below.

Table 6.3.2 Minimum criteria for Silt Fence Fabric (08/01/2005)

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (53 kN)	ASTM D 4632
Minimum Elongation at 90 lbs.	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs. (220 N)	ASTM D 4533
Minimum Tear Strength	20 lbs. (180 N)	ASTM D 4551
Apparent Opening Size	≤ 0.075 mm	ASTM D 4751
Minimum Permeability	XX/10-2 sec./ft.	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM D 4355

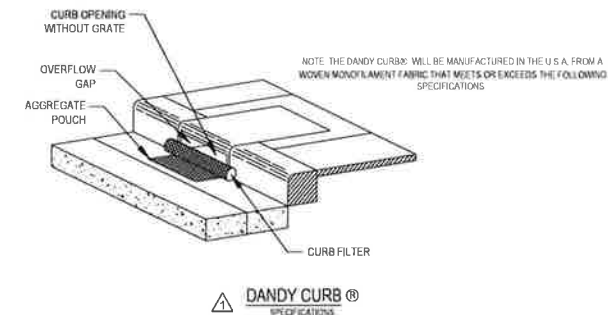
Specifications for Construction Entrance



- Stone Size—ODOT # 2 (1 1/2 to 2 1/2 inch) stone shall be used, or recycled concrete equivalent.
- Length—The construction entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (exception: apply 30 ft. minimum to single residence lots).
- Thickness—The stone layer shall be at least 6 inches thick for light duty entrances or at least 16 inches for heavy duty use.
- Width—The entrance shall be at least 14 feet wide, but not less than the full width at points where ingress or egress occurs.
- Geotextile—A geotextile shall be laid over the entire area prior to placing stone. It shall be composed of strong, rot-proof, polymeric fibers and meet the following specifications:
- Timing—The construction entrance shall be installed as soon as is practicable before major grading activities.
- Culvert—A pipe or culvert shall be constructed under the entrance if needed to prevent surface water from flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.
- Water Bar—A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
- Maintenance—Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surface where runoff is not checked by sediment controls shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
- Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction site shall be restricted from muddy areas.
- Removal—the entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.

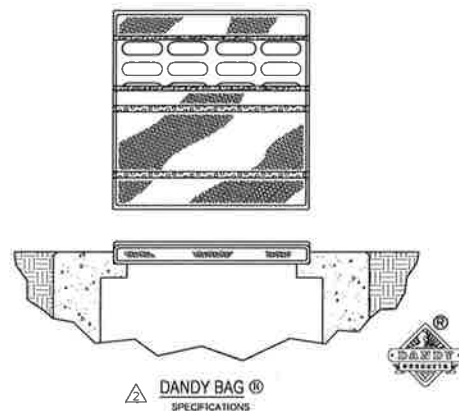
Figure 7.4.3

Geotextile Specification for Construction Entrance	
Minimum Tensile Strength	200 lbs.
Minimum Puncture Strength	80 psi.
Minimum Tear Strength	50 lbs.
Minimum Burst Strength	320 psi.
Minimum Elongation	20%.
Equipment Opening Size	0.075 or 0.075 mm.
Permeability	1 x 10-2 g/cm/min.



MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4533	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (lbs)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4551	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	l/min (gal/min)	5807 (145)
PERMITTIVITY	ASTM D 4491	Sec	2.1

*NOTE: ALL DANDY CURBS™ CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENTS
DANDY CURB DETAIL
N.T.S.
SEE SHEET 7 & 8 FOR SPECIFIC LOCATION OF EACH DANDY CURB.



HI-FLOW DANDY BAG™ (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4533	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (lbs)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4551	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	l/min (gal/min)	5807 (145)
PERMITTIVITY	ASTM D 4491	Sec	2.1

*Note: All Dandy Bags™ can be ordered with our optional oil absorbent pillows.

DANDY BAG DETAIL
N.T.S.
SEE SHEET 7 & 8 FOR SPECIFIC LOCATION OF EACH DANDY BAG.



REVISION DESCRIPTION

NO. DATE

HARPER CREEK

CITY OF BROCKVILLE MONTGOMERY COUNTY, OHIO

SWPPP DETAILS

ISSUE:
REVIEW:
DATE:
08/12/2022
JOB NO.: 757660
DESIGN: JEE
DRAWN: SJS
CHECKED: JEE
SHEET NO.
25



Specifications
for
Mulching

- Mulch and other appropriate vegetation practices shall be applied to disturbed areas within 7 days of grading if the area is to remain dormant (undisturbed) for more than 21 days or on areas and portions of the site which can be brought to final grade.
- Mulch shall consist of one of the following:
 - Straw - Straw shall be unbleached small grain straw applied at the rate of 2 tons/acre or 90 lb./1,000 sq. ft. (two to three bales). The straw mulch shall be spread uniformly by hand or mechanically on the soil surface is covered for uniform distribution of hand-spread mulch, divide area into approximately 1,000 sq.ft. sections and place two 45-lb. bales of straw in each section.
 - Hydroseeds - Wood cellulose fiber should be used at 7,000 lb./ac. or 45 lb./1,000 sq. ft.
 - Other - Acceptable mulches include mulch matings and rolled erosion control products applied according to manufacturer's recommendations or wood mulch (1/2" applied at 10-20 tons/ac.
- Mulch Anchoring - Mulch shall be anchored immediately to minimize loss by wind or runoff. The following are acceptable methods for anchoring mulch:
 - Mechanical - Use a disk, crimper, or similar type tool set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but be left generally longer than 6 inches.
 - Mulch Nettings - Use according to the manufacturer's recommendations, following all placement and anchoring requirements. Use in areas of water or on steep slopes and steep slopes to hold mulch in place.
 - Synthetic Binders - For straw mulch, synthetic binders such as Acrylic ULR (Agri-Tac), DCA-70, Petrosol, Terra Track or equal may be used at rates recommended by the manufacturer. All applications of Synthetic Binders must be conducted in such a manner where there is no contact with waters of the state.
 - Wood Cellulose Fiber - Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal. of wood cellulose fiber.

Specifications
for
Small Construction Site Controls

- Preexisting vegetation shall be retained on title portions of the building lot for as long as construction operations allow. Clearing shall be done so only active working areas are bare.
- Temporary seed and/or mulch shall be applied to areas, such as stockpiles and rough graded areas, that are bare and not actively being worked. This shall apply to areas that are not to be worked for 21 days or more.
- Stockpiles created from basement excavation and grading shall be situated away from streets, easements, or other waterways and shall be seeded and/or mulched immediately.
- Silt fence or other sediment barriers shall control sheet flow runoff from the building lot. These shall not be constructed in channels or areas of concentrated flow. Other sediment controls such as sediment traps and
- Construction vehicle access shall be limited to one route, to the greatest extent practical. The access shall be gravel or crushed rock underlain with geotextile.
- Mud tracked onto streets or sediment settled around curb/sidewalk protection shall be removed daily or as needed to prevent it from accumulating. It shall be removed by shoveling and scraping, and shall NOT be washed off paved surfaces or into storm drains. Sediment matting shall be placed where it will not be subject to erosion or concentrated runoff.

Specifications
for
Temporary Seeding

Table 7.0.1 Temporary Seeding Species Selection

Seeding Dates	Species	Lb./1,000 sq. ft.	Lb./acre
March 1 to August 15	Grass	3	120 (4 bales)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Crested Red Fescue	1	40
	Kentucky Bluegrass	1	40
	Other	3	120 (4 bales)
August 16 to November	Pine	3	120 (4 bales)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Crested Red Fescue	1	40
	Kentucky Bluegrass	1	40
	Other	3	120 (4 bales)
November 1 to Feb. 28	Pine	3	120 (4 bales)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Crested Red Fescue	1	40
	Kentucky Bluegrass	1	40
	Other	3	120 (4 bales)

Note: Other approved species may be substituted.

- Structural erosion and sediment control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction site.
- Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 21 days or greater. These title areas shall be seeded within 7 days after grading.
- The seedbed should be pulverized and loose to ensure the success of establishing vegetation. Temporary seeding should not be postponed if seedbed preparation is not possible.
- Soil Amendments—Temporary vegetation seeding rates shall establish adequate stands of vegetation, which may require the use of soil amendments. Base rates for lime and fertilizer shall be used.
- Seeding Method—Seed shall be applied uniformly with a cyclone spreader, drill, cultipacker, roller, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

Specifications
for
Temporary Seeding

Mulching Temporary Seeding

- Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seeding made during optimum seeding rates on favorable, very friable soil conditions may not need mulch to achieve adequate stabilization.
- Materials:
 - Straw—If straw is used, it shall be unbleached small grain straw applied at a rate of 2 tons per acre or 90 lbs./1,000 sq. ft. (2-3 bales).
 - Hydroseeds—If wood cellulose fiber is used it shall be used at 2,000 lbs./ac. or 45 lb./1,000 sq. ft.
 - Other—Other acceptable mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 tons/ac.
- Straw Mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
 - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but left to a length of approximately 6 inches.
 - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
 - Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosol, Terra Track or equivalent may be used at rates recommended by the manufacturer.
 - Wood-Cellulose Fiber—Wood-cellulose fiber binder shall be applied at a net dry wt. of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal.

Specifications
for
Permanent Seeding

Site Preparation

- Subsoils, plow or other implement shall be used to reduce soil compaction and allow maximum infiltration. Maximum infiltration will help control both runoff rate and erosion. Seeding should be done when the soil moisture is low enough to allow the seed to crack or fracture. Seeding shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
- The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.
- Topsoil shall be applied where needed to establish vegetation.

Seeded Preparation

- Lime—Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.
- Fertilizer—Fertilizer shall be applied as recommended by a soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1,000 pounds per acre of a 10-10-10 or 12-12-12 analyses.
- The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil shall be worked up the contour.

Seeding Dates and Soil Conditions

Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the above specified dates, additional mulch and irrigation may be required to ensure a minimum of 80% germination. Tillage for seeded preparation should be done when the soil is not enough to crumble and not turn ridges when compressed by hand. For winter seeding, see the following section on dormant seeding.

Dormant Seeding

- Seeding should not be made from October 1 through November 20. During this period, the seeds are likely to germinate but probably will not be able to survive the winter.
- The following methods may be used for "Dormant Seeding":

Straw and Mulch Anchoring Methods

Straw mulch shall be anchored immediately to minimize loss by wind or water.

- Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
- Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
- Asphalt Emulsion—Asphalt shall be applied as recommended by the manufacturer or at the rate of 160 gallons per acre.

- Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petrosol, Terra Track or equivalent may be used at rates specified by the manufacturer.
- Wood Cellulose Fiber—Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gallons of water.

Irrigation

Permanent seeding shall include irrigation to establish vegetation during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant growth. Irrigation rates shall be monitored to prevent erosion and damage to seeded areas from excessive runoff.

Table 7.10.2 Permanent Seeding

Seed Mix	Seeding Rate		Notes
	Lbs./acre	Lbs./1,000 Sq. Feet	
General Use			
Cresting Red Fescue	20-40	12-1	For close mowing & for waterways with <2 ft flood velocity
Domestic Ryegrass	10-20	1.5-1.2	
Kentucky Bluegrass	20-40	12-1	
Tall Fescue	40-50	1-1.14	
Sub-type Idealist Fescue	50	2-1.4	
Shrub Banks or Cut Slopes			
Tall Fescue	40-50	1-1.14	Do not seed later than August
Crown Vetch	10-20	1.5-1.2	
Tall Fescue	20-30	1.5-2.4	
Flat Top	25-25	1.5-2.4	Do not seed later than August
Tall Fescue	20-30	1.5-2.4	
Road Ditches and Swales			
Tall Fescue	40-50	1-1.14	Do not seed later than August
Sub-type			
(Dwarf) Fescue	50	2-1.4	
Kentucky Bluegrass	5	6-1	
Lawns			
Kentucky Bluegrass	100-120	2	For shaded areas
Perennial Ryegrass		2	
Kentucky Bluegrass	100-120	2	
Cresting Red Fescue		1-1/2	

Note: Other approved species may be substituted.

Specifications
for

Additional Construction Site Pollution Controls

- Construction personnel, including subcontractors who may use or handle hazardous or toxic materials, shall be made aware of the following general guidelines regarding disposal and handling of hazardous and construction wastes:
 - Prevent spills.
 - Use products up.
 - Follow label directions for disposal.
 - Remove lids from empty bottles and cans when disposing in trash.
 - Recycle wastes whenever possible.
 - Don't pour into waterways, storm drains or onto the ground.
 - Don't pour down the sink, floor drain or septic tanks.
 - Don't bury chemicals in containers.
 - Don't burn chemicals or containers.
 - Don't mix chemicals together.
- Containers shall be provided for the proper collection of all waste material including construction debris, trash, petroleum products and any hazardous materials used on-site. Containers shall be covered and not leaking. All waste material shall be disposed of at facilities approved for that material. Construction Demolition and Debris (CDD) waste must be disposed of at an Ohio EPA approved CDD landfill.
- No construction related waste materials are to be buried on-site. By exception, clean fill (bricks, hand-dug concrete, soil) may be utilized in a way which does not encroach upon natural wetlands, streams or floodplains or result in the contamination of waters of the state.
- Handling Construction Chemicals, Mixing, pumping, transferring or other handling of construction chemicals such as fertilizer, lime, asphalt, concrete drying compounds, and all other potentially hazardous materials shall be performed in an area away from any water course, ditch or storm drain.
- Equipment Fueling and Maintenance, oil changing, etc., shall be performed away from water courses, ditches or storm drains, in an area designated for that purpose. The designated area shall be equipped for recycling oil and catching spills. Secondary containment shall be provided for all fuel and storage tanks. These areas must be inspected every seven days and within 24 hrs. of a 6.5 inch or greater rain event to ensure there are no exposed materials which would contaminate storm water. Site operators must be aware that Spill Prevention Control and Countermeasures (SPCC) requirements may apply. An SPCC plan is required for sites with one single above ground tank of 660 gallons or more, an accumulative above ground storage of 1,320 gallons or more, or 12,000 gallons of underground storage. Contaminated soils must be disposed of in accordance with Item 8.
- Concrete Wash Water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance. A sump or pit with no potential for discharge shall be constructed if needed to contain concrete wash water. Fresh tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged. For small projects, truck ditches may be turned away from any water conveyance.
- Spill Reporting Requirements: Spills on pavement shall be absorbed with sawdust or killy litter and disposed of with the trash at a licensed sanitary landfill. Hazardous or industrial wastes such as insect solvents, gasoline, oil-based paints, and cement curing compounds require special handling. Spills shall be reported to Ohio EPA (1-800-282-9378). Spills of 25 gallons or more of petroleum products shall be reported to Ohio EPA, the local fire department, and the Local Emergency Planning Committee within 20 min. of the discovery of the release. All spills which enter a water of the state must be reported to Ohio EPA.
- Contaminated Soils: If substances such as oil, diesel fuel, hydraulic fluid, antifreeze, etc. are spilled, leaked, or released onto the soil, the soil should be dug up and disposed of at licensed sanitary landfill or other approved petroleum contaminated soil remediation facility (not a construction demolition debris landfill). Note that storm water run off associated with contaminated soils are not be authorized under Ohio EPA's General Storm Water Permit associated with Construction Activities.
- Open Burning: No materials containing rubber, grease, asphalt, or petroleum products, such as tires, auto parts, plastics or plastic crates may be burned (OAC 3745-19). Open burning is not allowed in restricted areas, which are defined as: 1) within incorporation limits, 2) within 1000 feet outside a municipal corporation having a population of 1000 to 10,000, and 3) a one mile zone outside of a corporation of 10,000 or more. Outside of restricted areas, open burning is allowed within a 1000 feet of an industrial building on another property. Open burning is permissible in a restricted area for heating, for welding, sanding, painting and similar occupational needs, and heating for warmth or outdoor barbecues. Outside of restricted areas, open burning is permissible for landscape or land clearing wastes (plant material, with prior written permission from Ohio EPA), and agricultural wastes, excluding buildings.
- Dust Control or Dust Suppressants shall be used to prevent nuisance conditions, in accordance with the manufacturer's specifications and in a manner which prevents a discharge to waters of the state. Sufficient distances must be provided between applications and nearby buildings, residences, and other waterways. Applications involving waterways may not occur when rain is imminent as noted in the short-term forecast. Use of any may not be applied for dust control.
- Other Air Permitting Requirements: Certain activities associated with construction that require air permits including but not limited to mobile concrete batch plants, mobile asphalt plants, concrete crushers, large generators, etc. These activities will require specific Ohio EPA Air Permits for installation and operation. Operators must seek authorization from the corresponding district of Ohio EPA. For demolition of all commercial sites, a Notification for Restoration and Demolition must be submitted to Ohio EPA to determine if asbestos corrective actions are required.
- Process Waste Water/Leachate Management: Ohio EPA's Construction General Permit only allows the discharge of storm water and does not include other waste streams/discharges such as vehicle and/or equipment washing, on-site septic treatment concrete wash outs, which are considered process wastewaters. All process wastewaters must be collected and properly disposed at an approved disposal facility. In the event, leachate or seepage is discharged, it must be isolated for collection and proper disposal and corrective actions taken to eliminate the source of waste water.
- A Permit To Install (PTI) is required prior to the construction of all centralized sanitary systems, including sewer extensions and sewerage systems (except those serving one, two, and three family dwellings and potable water lines. Plans must be submitted and approved by Ohio EPA. Issuance of an Ohio EPA Construction General Storm Water Permit does not authorize the installation of any sewerage system where Ohio EPA has not approved a PTI.



REVISION DESCRIPTION

NO. DATE

HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

SWPPP DETAILS



ISSUE/REVIEW DATE	08/12/2022
JOB NO.	757660
DESIGN	JEE
DRAWN	SJS
CHECKED	JEE
SHEET NO.	26



VICINITY MAP
NOT TO SCALE

RECORD PLAT
HARPER CREEK
SECTION 1
BEING A SUBDIVISION OF PART OF LOT 1743 OF THE
CONSECUTIVE LOT NUMBERS OF THE CITY OF BROOKVILLE
SECTION 34, TOWN 6, RANGE 4 EAST
CITY OF BROOKVILLE, CLAY TOWNSHIP, MONTGOMERY COUNTY, OHIO
CONTAINING 19.0356 TOTAL ACRES

OWNERS CONSENT AND DEDICATION:

WE THE UNDERSIGNED, BEING ALL THE OWNERS AND LIENHOLDERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS, OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

ANY "PUBLIC UTILITY EASEMENTS", AS SHOWN ON THIS PLAT ARE RESERVED FOR THE PLACEMENT OF PUBLIC UTILITIES, SIDEWALKS AND FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES. THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION OR OTHER UTILITY LINES OR SERVICES, STORMWATER DISPOSAL AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDING OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY SERVICE PROVIDERS INCLUDING BUT NOT LIMITED TO:

LIST OF PROVIDERS: AT&T, AES OHIO, CENTER POINT ENERGY, SPECTRUM, MONTGOMERY COUNTY SANITARY & WATER.

AS TO ALL:

WITNESS
PRINTED NAME: OWNER

WITNESS
PRINTED NAME: BY:
PRINTED NAME: TITLE:

ACKNOWLEDGEMENT

STATE OF _____
COUNTY OF _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20____ BY _____ OF _____, A _____, ON BEHALF OF THE [COMPANY/CORPORATION/PARTNERSHIP].

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CERTIFICATE OF SURVEYOR:

I CERTIFY THAT THE BOUNDARY OF THIS SUBDIVISION WAS PREPARED IN ACCORDANCE WITH O.A.C. CHAPTER 4733-37 AND O.R.C. CHAPTER 711.01-40. ALL MONUMENTATION IS OR WILL BE SET AS SHOWN.

PRELIMINARY

SEAN T. BROOKS, P.S.
OHIO P.S. NO. 8828

DATE: _____

CITY OF BROOKVILLE PLANNING COMMISSION

THIS PLAT WAS INSPECTED AND APPROVED BY US THIS ____ DAY OF _____, 2022.

CHAIRPERSON

CITY OF BROOKVILLE COUNCIL

THIS PLAT WAS INSPECTED AND ACCEPTED BY US THIS ____ DAY OF _____, 2022.

CLERK

MAYOR

MONTGOMERY COUNTY WATER SERVICES APPROVAL:

I HEREBY APPROVE THIS PLAT ON THIS ____ DAY OF _____, 2022.

MONTGOMERY COUNTY SANITARY ENGINEER

MONTGOMERY COUNTY ENGINEER:

APPROVE FOR DESCRIPTION THIS ____ DAY OF _____, 2022.
BY THE MONTGOMERY COUNTY ENGINEER.

MONTGOMERY COUNTY ENGINEER

MONTGOMERY COUNTY PLANNING COMMISSION

AT A MEETING OF THE PLANNING COMMISSION OF THE COUNTY OF MONTGOMERY, OHIO, HELD THIS ____ DAY OF _____, 2022,
THIS PLAT WAS REVIEWED AND APPROVED.

CHAIRPERSON

PERTINENT INFORMATION/SURVEY DATA:

ALL REFERENCES TO DEEDS, PLATS, RECORD PLANS REFER TO THE OFFICE OF THE MONTGOMERY COUNTY RECORDER. ALL REFERENCES TO SURVEY RECORDS ARE ON FILE AT THE MONTGOMERY COUNTY ENGINEER'S OFFICE, BOTH OFFICES ARE LOCATED IN DAYTON, OHIO.

DEEDS

I.R. DEED 08-009391

I.R. DEED 07-408B11

I.R. DEED 02-592C09

DMF 08-00071758

I.R. DEED 14-055115

I.R. DEED 22-003013 SURVEY VOL. 2021, PG. 0138

RECORD PLATS

MCGREGOR SUBDIVISION SECTION TWO, PLAT BOOK 229, PAGE 67.

BEHNKEN SUBDIVISION SECTION THREE, PLAT BOOK 158, PAGE 24.

DESCRIPTION:

SITUATED IN PART OF SECTION 34, TOWN 6, RANGE 4 EAST, CITY OF BROOKVILLE, CLAY TOWNSHIP, MONTGOMERY COUNTY, OHIO, BEING A SUBDIVISION OF PART OF LOT 1743 OF THE CONSECUTIVE LOT NUMBERS OF THE CITY OF BROOKVILLE, CONTAINING 19.0356 ACRES AND CONVEYED TO CITY OF BROOKVILLE, DESCRIBED IN THE DEED OF RECORD IN I.R. DEED 22-003013

BASIS OF BEARINGS:

BEARING SYSTEM BASED ON THE CENTERLINE OF ALBERT ROAD (S 00° 04' 50" W) AS RECORDED IN SURVEY VOLUME 2021, PAGE 138, ON FILE AT THE MONTGOMERY COUNTY ENGINEER'S OFFICE.

APPROVED FOR DESCRIPTION

ENGINEER OF MONTGOMERY COUNTY

FILE#

CHECKED BY

DATE

ZONING NOTE:

AREA SHOWN ON THIS PLAT IS CURRENTLY ZONED "R-1B" - DISTRICT, PER CITY OF BROOKVILLE ZONING, MONTGOMERY COUNTY, OHIO.

FLOOD NOTE:

BY INFORMATION PROVIDED BY FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN FLOOD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD. BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39113C0108E & NO. 39113C0108E, WHICH BEARS AN EFFECTIVE DATE OF JANUARY 6, 2005. SUBJECT TO MAP SCALING.

NOTE: FLOOD DATA SHOWN HEREON HAS BEEN INTERPOLATED FROM SUPPLIED DATA AND IS NOT EXACT. THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE DATA ON THE ABOVE CITED FIRM, AND THE STATEMENT PERTAINING TO THE FLOOD ZONE DOES NOT REPRESENT SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

ENGINEER/SURVEYOR

CESO, INC.
3601 RIGBY ROAD, SUITE 300
MIAMISBURG, OHIO 45342
PHONE NO. 937-435-8584

DEVELOPER:

ARBOR HOMES
9050 CENTRE POINTE DRIVE, SUITE 210
WEST CHESTER, OHIO 45069
PHONE NO. 371-520-8419

OWNER:

CITY OF BROOKVILLE
301 SYCAMORE STREET
BROOKVILLE, OHIO 45309

RECORD PLAT

HARPER CREEK SECTION 1

ALBERT RD. / UPPER LEWISBURG SALEM RD.
CITY OF BROOKVILLE, CLAY TOWNSHIP

SECTION 34, TOWN 6, RANGE 4E
MONTGOMERY COUNTY, OHIO

SCALE: NA

DATE: 6-8-2022

DESIGN: JEE

PREPARED BY

DRAWN: CTT

CHECKED: JKH

JOB NO.: 757663-02

SHEET NO.:

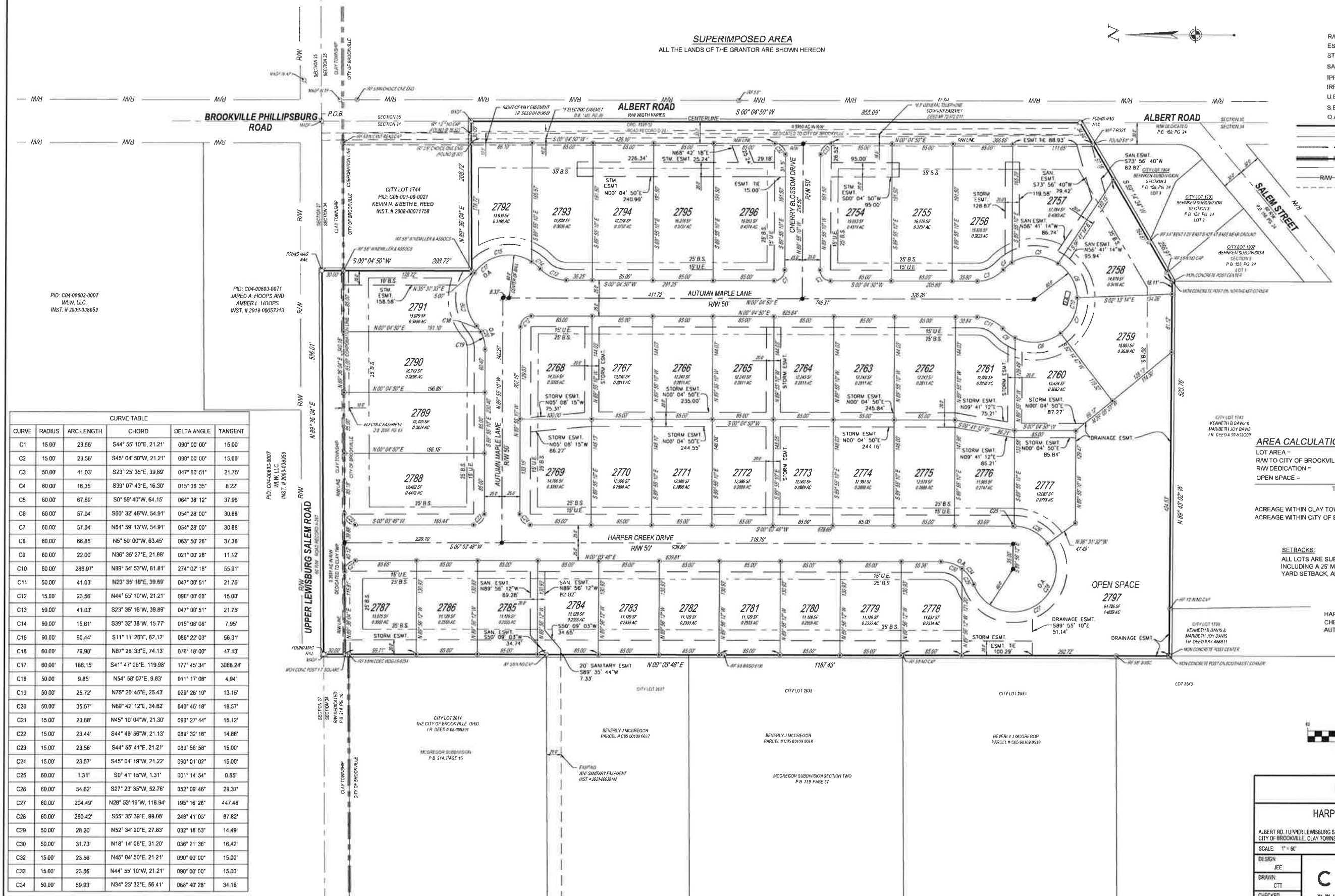
1 of 2

LEGEND

- SET 5/8" x 30" IRON PIN WITH YELLOW CAP STAMPED "CESO"
- MAG SPIKE SET
- 5/8" IRON PIN FOUND AS NOTED
- CONCRETE MONUMENT FOUND AS NOTED
- POST
- R/W = RIGHT OF WAY
- ESMT. = EASEMENT
- STM = STORM
- SAN. = SANITARY
- IPF = IRON PIPE FOUND
- IRF = IRON PIN FOUND
- U.E. = UTILITY EASEMENT
- S.B. = SETBACK
- O.A. = OVERALL

- BOUNDARY LINE
- ADJOINER LINE
- SECTION LINE
- CORPORATION LINE
- ROAD CENTERLINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE

SUPERIMPOSED AREA
ALL THE LANDS OF THE GRANTOR ARE SHOWN HEREON



AREA CALCULATIONS:

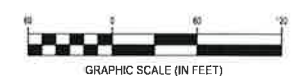
LOT AREA =	13.5433 ACRES
R/W TO CITY OF BROOKVILLE =	3.6373 ACRES
R/W DEDICATION =	0.3691 ACRES
OPEN SPACE =	1.4859 ACRES
TOTAL AREA =	19.0356 ACRES

ACREAGE WITHIN CLAY TOWNSHIP = 0.3691 ACRES
ACREAGE WITHIN CITY OF BROOKVILLE = 18.6665 ACRES

SETBACKS:
ALL LOTS ARE SUBJECT TO BUILDING SETBACKS, INCLUDING A 25' MINIMUM FRONT YARD AND 35' REAR YARD SETBACK, AND A 5' MINIMUM SIDE YARD SETBACK.

ROADWAY LENGTHS:

HARPER CREEK DRIVE	938.80 FT.
CHERRY BLOSSOM DRIVE	216.50 FT.
AUTUMN MAPLE LANE	1088.51 FT.



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD	DELTA ANGLE	TANGENT
C1	15.00'	23.56'	S44° 55' 10"E, 21.21'	090° 00' 00"	15.00'
C2	15.00'	23.56'	S45° 04' 50"W, 21.21'	090° 00' 00"	15.00'
C3	50.00'	41.03'	S23° 25' 35"E, 39.89'	047° 00' 51"	21.75'
C4	60.00'	16.35'	S39° 07' 43"E, 16.30'	015° 36' 35"	8.22'
C5	60.00'	67.89'	S0° 59' 40"W, 64.15'	064° 38' 12"	37.96'
C6	60.00'	57.04'	S60° 32' 46"W, 54.91'	054° 28' 00"	30.88'
C7	60.00'	57.04'	N64° 59' 13"W, 54.91'	054° 28' 00"	30.88'
C8	60.00'	66.85'	N5° 50' 00"W, 63.45'	063° 50' 26"	37.38'
C9	60.00'	22.00'	N36° 35' 27"E, 21.88'	021° 00' 28"	11.12'
C10	60.00'	288.97'	N89° 54' 53"W, 81.81'	274° 02' 16"	55.81'
C11	50.00'	41.03'	N23° 35' 16"E, 39.89'	047° 00' 51"	21.75'
C12	15.00'	23.56'	N44° 55' 10"W, 21.21'	090° 00' 00"	15.00'
C13	50.00'	41.03'	S23° 35' 16"W, 39.89'	047° 00' 51"	21.75'
C14	60.00'	15.81'	S39° 32' 38"W, 15.77'	015° 06' 06"	7.95'
C15	60.00'	90.44'	S11° 11' 26"E, 82.12'	086° 22' 03"	56.31'
C16	60.00'	79.90'	N87° 28' 33"E, 74.13'	076° 18' 00"	47.13'
C17	60.00'	186.15'	S41° 41' 06"E, 119.98'	177° 45' 34"	308.24'
C18	50.00'	9.85'	N54° 58' 07"E, 9.83'	011° 17' 06"	4.94'
C19	50.00'	25.72'	N75° 20' 45"E, 25.43'	029° 28' 10"	13.15'
C20	50.00'	35.57'	N69° 42' 12"E, 34.82'	040° 45' 18"	18.57'
C21	15.00'	23.68'	N45° 10' 04"W, 21.30'	090° 27' 44"	15.12'
C22	15.00'	23.44'	S44° 49' 56"W, 21.13'	089° 32' 16"	14.88'
C23	15.00'	23.56'	S44° 55' 41"E, 21.21'	089° 58' 58"	15.00'
C24	15.00'	23.57'	S45° 04' 19"W, 21.22'	090° 01' 02"	15.00'
C25	60.00'	1.31'	S0° 41' 15"W, 1.31'	001° 14' 54"	0.65'
C26	60.00'	54.62'	S27° 23' 35"W, 52.76'	052° 09' 46"	29.37'
C27	60.00'	204.49'	N28° 53' 19"W, 118.94'	195° 16' 26"	447.48'
C28	60.00'	260.42'	S55° 35' 39"E, 99.06'	248° 41' 05"	87.82'
C29	50.00'	28.20'	N52° 34' 20"E, 27.83'	032° 18' 53"	14.49'
C30	50.00'	31.73'	N18° 14' 06"E, 31.20'	036° 21' 36"	16.42'
C32	15.00'	23.56'	N45° 04' 50"E, 21.21'	090° 00' 00"	15.00'
C33	15.00'	23.56'	N44° 55' 10"W, 21.21'	090° 00' 00"	15.00'
C34	50.00'	59.93'	N34° 23' 32"E, 56.41'	068° 40' 28"	34.16'

RECORD PLAT

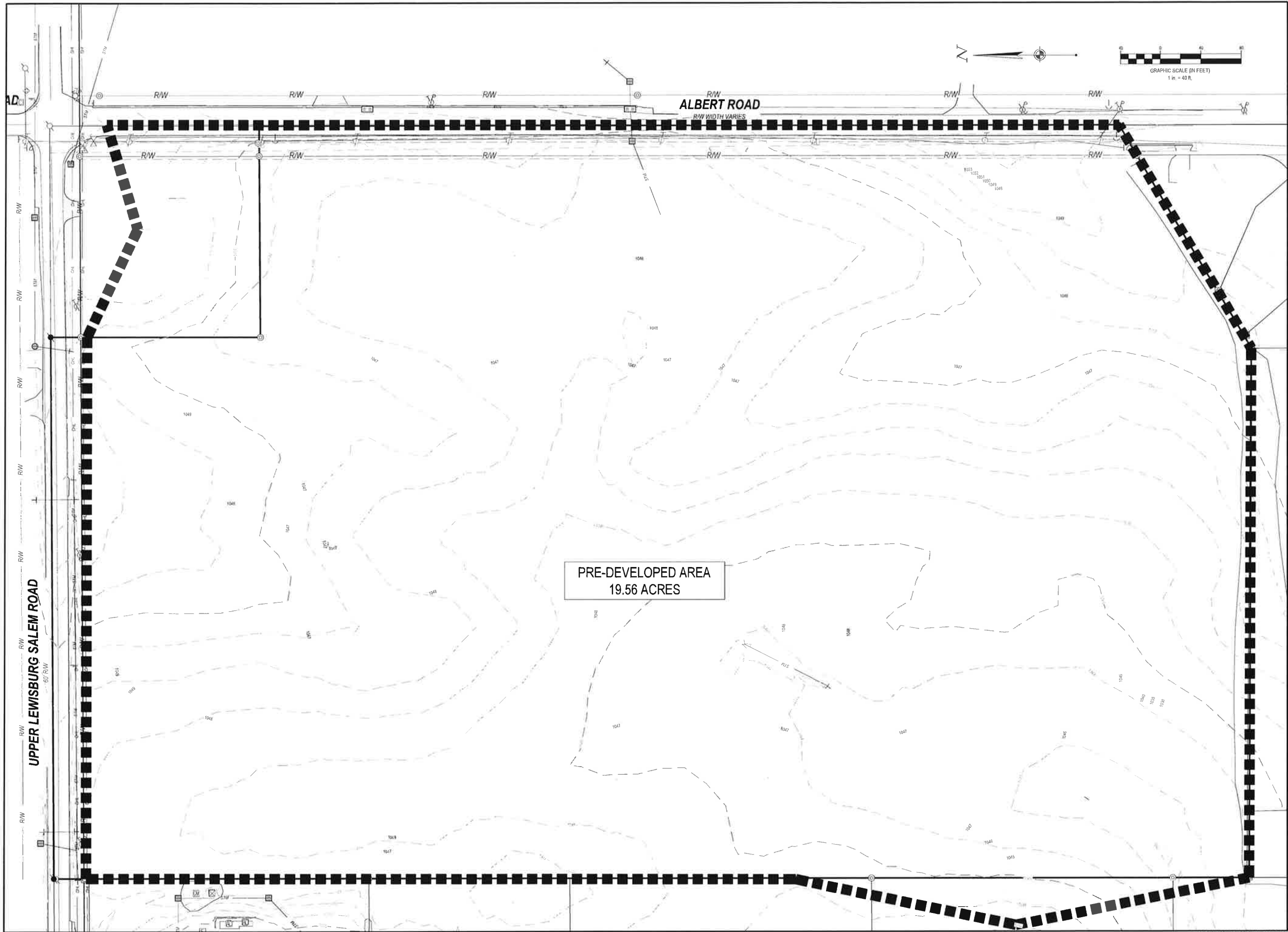
HARPER CREEK SECTION 1

ALBERT RD. / UPPER LEWISBURG SALEM RD. SECTION 34, TOWNSHIP 4E, MONTGOMERY COUNTY, OHIO
CITY OF BROOKVILLE, CLAY TOWNSHIP

SCALE: 1" = 60' DATE: 8-8-2022

DESIGN: JEE	JOB NO.: 75760-02
DRAWN: CTT	SHEET NO.:
CHECKED: JKH	2 OF 2

WWW.CESOINC.COM



CESO
WWW.CESOINC.COM

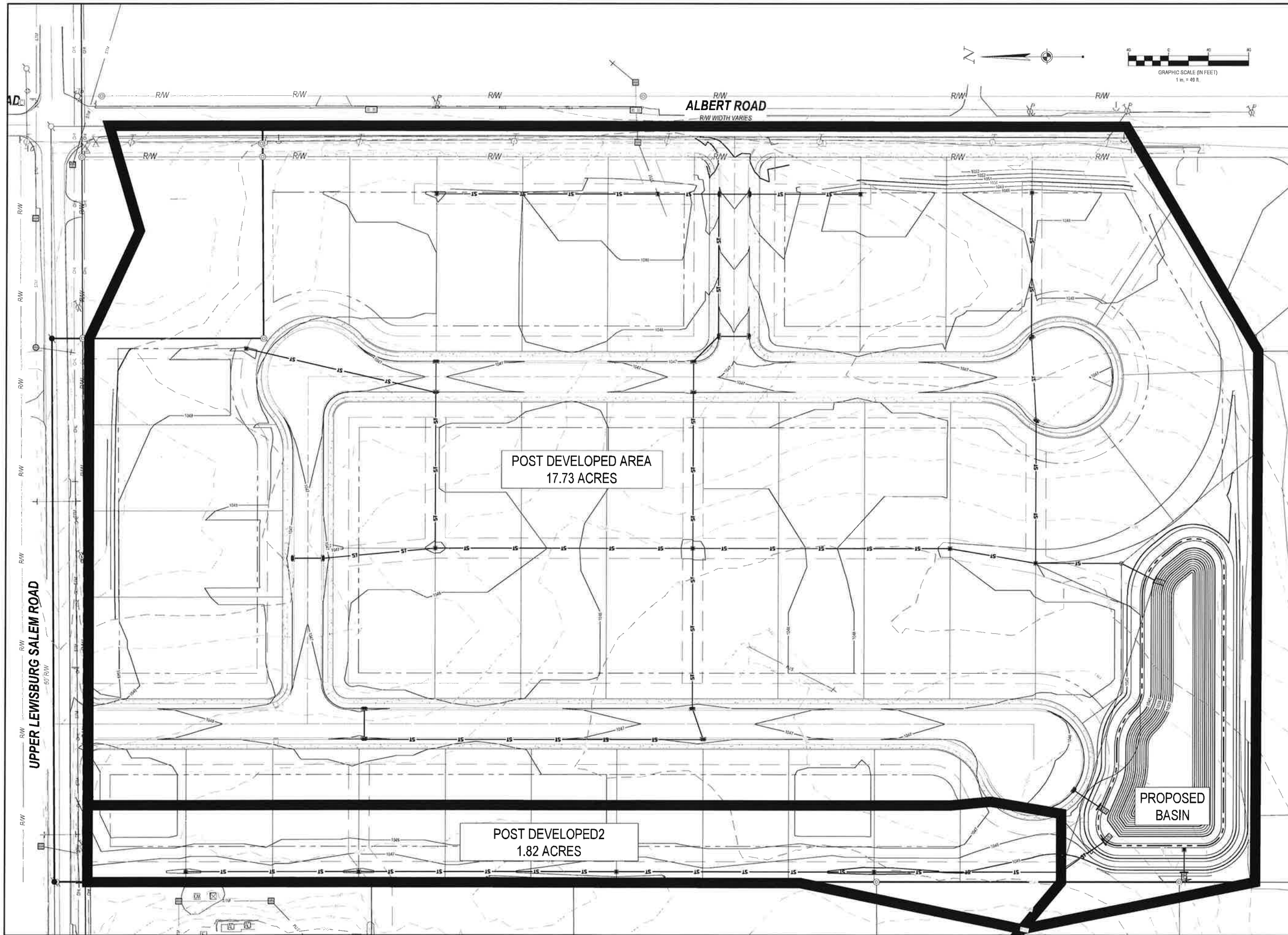
REVISION DESCRIPTION
NO. DATE

HARPER CREEK

CITY OF BROCKVILLE MONTGOMERY COUNTY, OHIO

PRE DEV DRAINAGE MAP

ISSUE:	
EXHIBIT:	
DATE:	08/24/22
JOB NO.:	757660-01
DESIGN:	JEE
DRAWN:	JEE
CHECKED:	
SHEET NO.:	1



REVISION DESCRIPTION	
NO.	DATE
1	08/24/22

HARPER CREEK

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO

POST DEV DRAINAGE MAP

JOB NO.	757660-01
DESIGN	JEE
DRAWN	JEE
CHECKED	
SHEET NO.	1

MEMORANDUM:

DATE: AUGUST 12, 2022

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

RE: SPECIAL USE APPLICATION-237 MARKET ST.

One Minute Stop, the owner of gas station and convenience store at 237 Market St., has filed a special use application to establish a drive-thru window for their convenience store. The property is located in the Community Center District, and drive in facilities are a special use in the district. A copy of the application is attached. The applicant would be removing the existing obstructions in the drive-thru area and installing a drive-thru window. There is approximately 16 feet of width for the drive-thru drive on the west side of the building. The owner is requesting this drive-thru to decrease traffic congestion at the gas pumps during peak hours of operation and improve customer service.

City of Brookville

"A Proud and Progressive Community"

Application #SU 22-05

ZONING APPLICATION FOR A SPECIAL USE PERMIT

The undersigned hereby applies for a **SPECIAL USE PERMIT**, to be issued solely on the basis of information contained herein, and with the knowledge that the falsification of any fact or statement submitted with, or within, this application shall render this application null and void. **(PERMIT SHALL EXPIRE IF USE HAS NOT BEGUN WITHIN SIX (6) MONTHS, OR IF DISCONTINUED FOR MORE THAN TWO (2) YEARS.)**

1. Applicant One Minute Stop
2. Applicant address 237 Market st, Brookville, OH, 45309
3. Phone (Hm) 917-478-3163 (Bus) 917-982-7318 Interest in property Balvinder Kaur-Owner
4. Location or address of property to be affected 237 Market st, Brookville, OH, 45309
5. Legal description _____
6. Present Zoning classification C:C Existing GAS Station - Convenience Store
7. Proposed Special Use Drive-Thru

8. In order for a **SPECIAL USE PERMIT** to be processed, applicant must provide a narrative statement evaluating the effect of such elements as noise, glare, odor, fumes, and vibrations on adjoining property; and discussion of the general compatibility with adjacent and other properties in the district; and the relationship of the proposed use to the Zoning District Map.

9. The Planning Commission shall establish beyond reasonable doubt that both the general standards and the specific requirements pertinent to each special use indicated herein shall be satisfied by the establishment and operation of the proposed special use.

10. Wherever no specific area, frontage and setback requirements are specified in provision for specific special uses, then the area, frontage and setback requirements in the applicable zone shall apply; provided, that the Planning Commission shall be authorized to waive or modify certain requirements as necessary to achieve compatible development with adjacent land areas as well as in the interest of the community in general. The Planning Commission may also impose such additional conditions, guarantees, and safeguards as it deems necessary for the general welfare, for the protection of individual property rights, and for insuring that the intent and objectives of this Ordinance will be observed.

11. Has previous application been filed for a **SPECIAL USE PERMIT?** _____

12. When? _____ Results? _____

8/11/22
Application Date

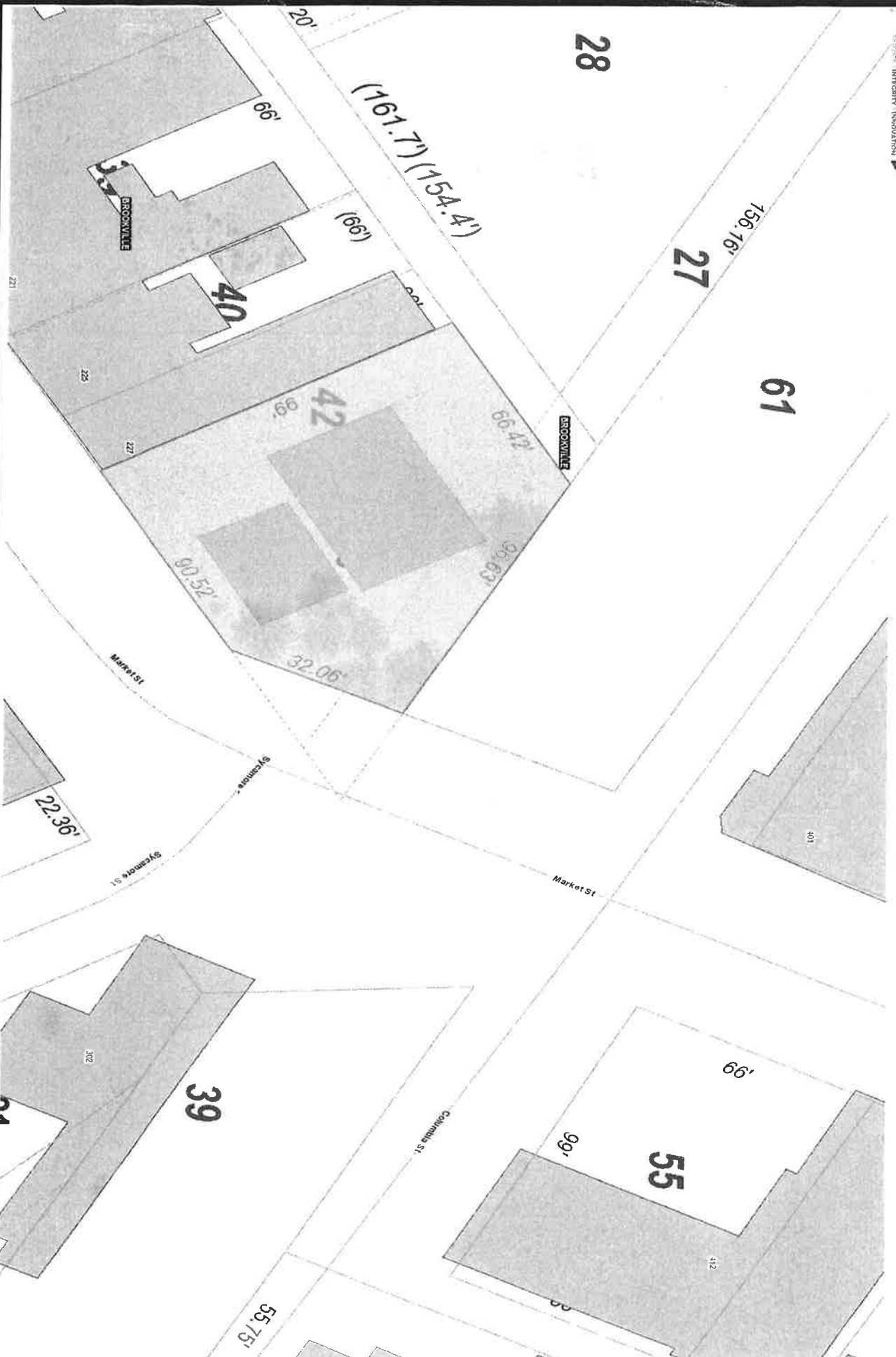
Balinder Kaur
Signature of Applicant

OFFICE USE ONLY BELOW LINE

Reviewed by _____ Date _____

Appr/Denied Planning Commission _____ Date _____

Fee _____ Receipt Number _____ Date _____
(NON REFUNDABLE)



****DISCLAIMER:**

This map is a visual presentation of data to be used as a public resource of general information and is provided strictly as a courtesy. The Montgomery County Auditors Office makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any information provided herein.

Furthermore The Montgomery County Auditors Office shall assume no liability for

1. Any errors, omissions, or inaccuracies in the information provided regardless of how caused; or
2. Any decision made or action taken or not taken by the reader in reliance upon any information furnished hereunder.

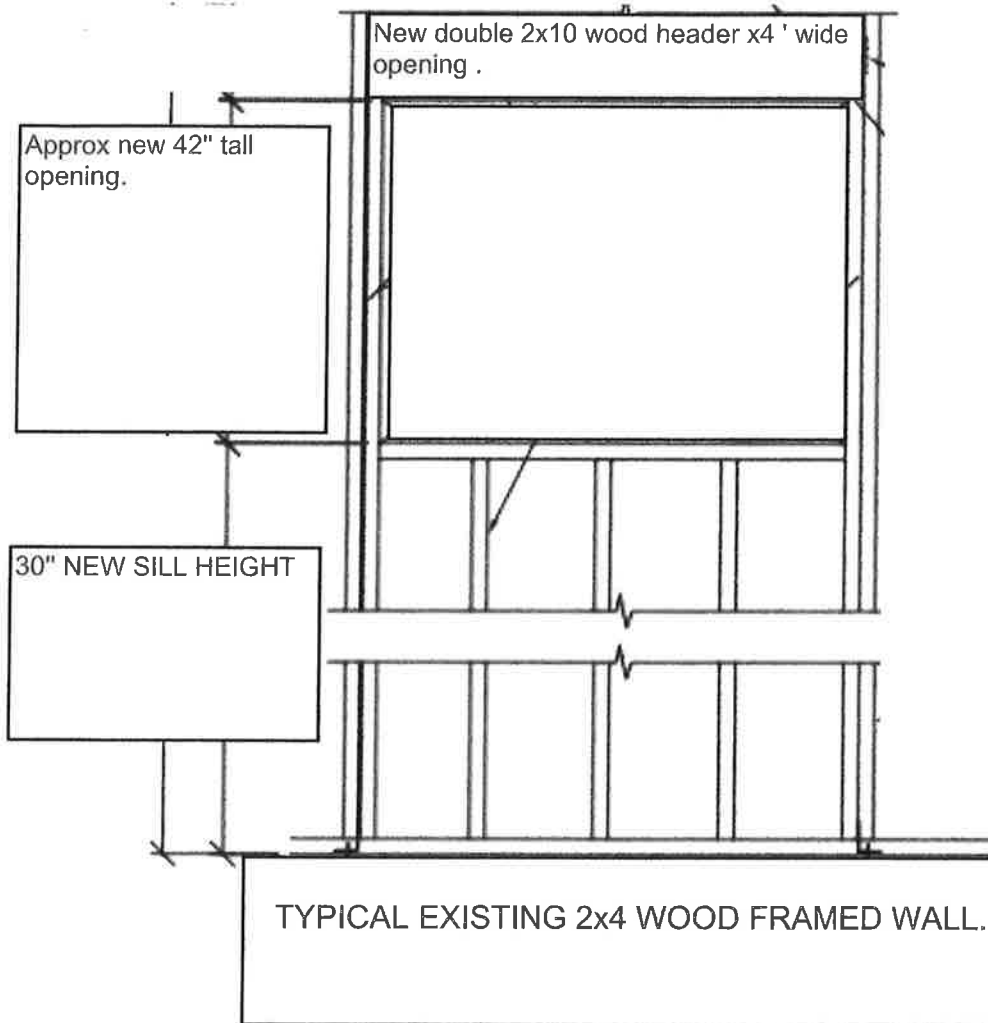
Note: Exact property boundaries must be derived by a legal survey of the property.



1 inch = 18 ft

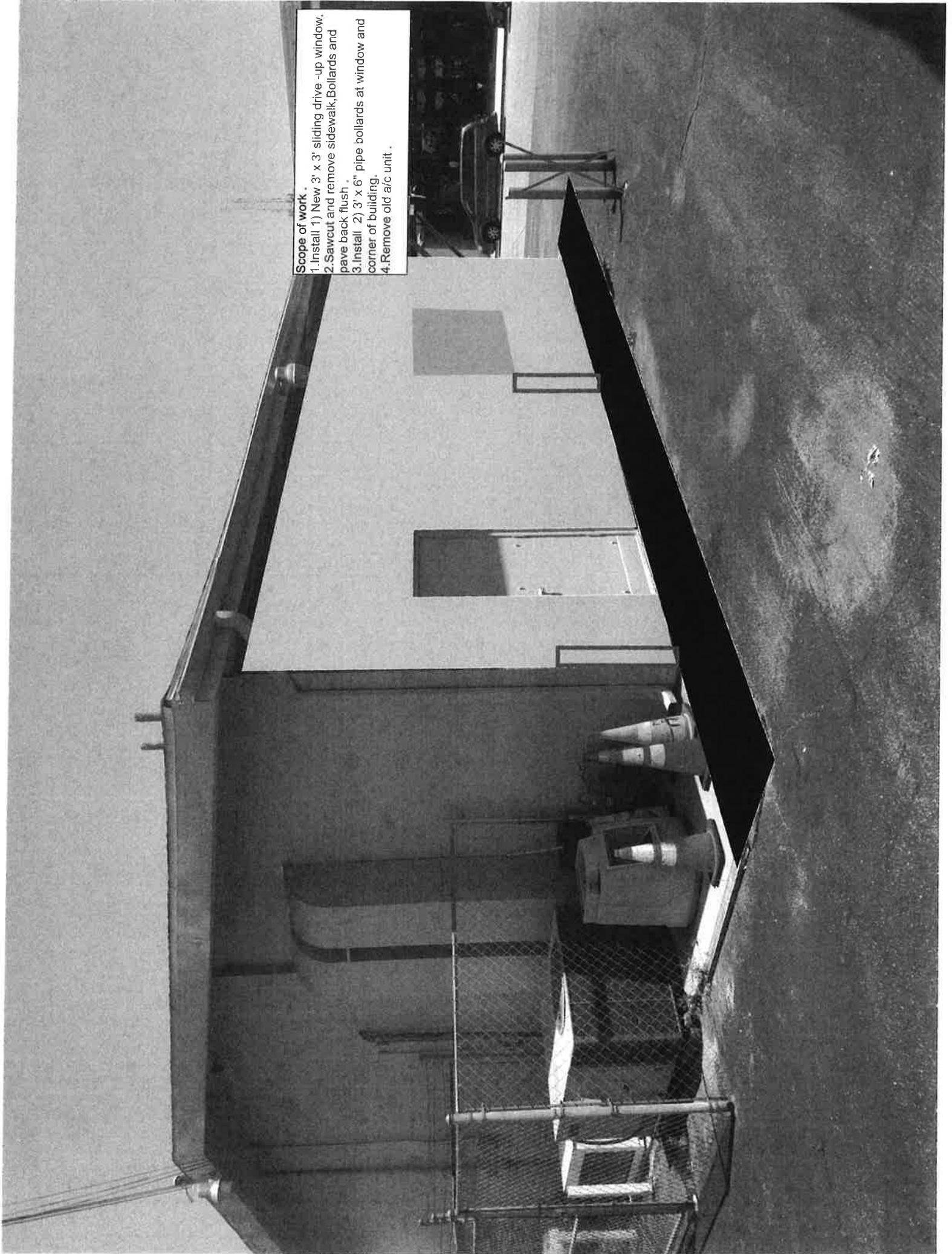
Brookville - Convenient store.

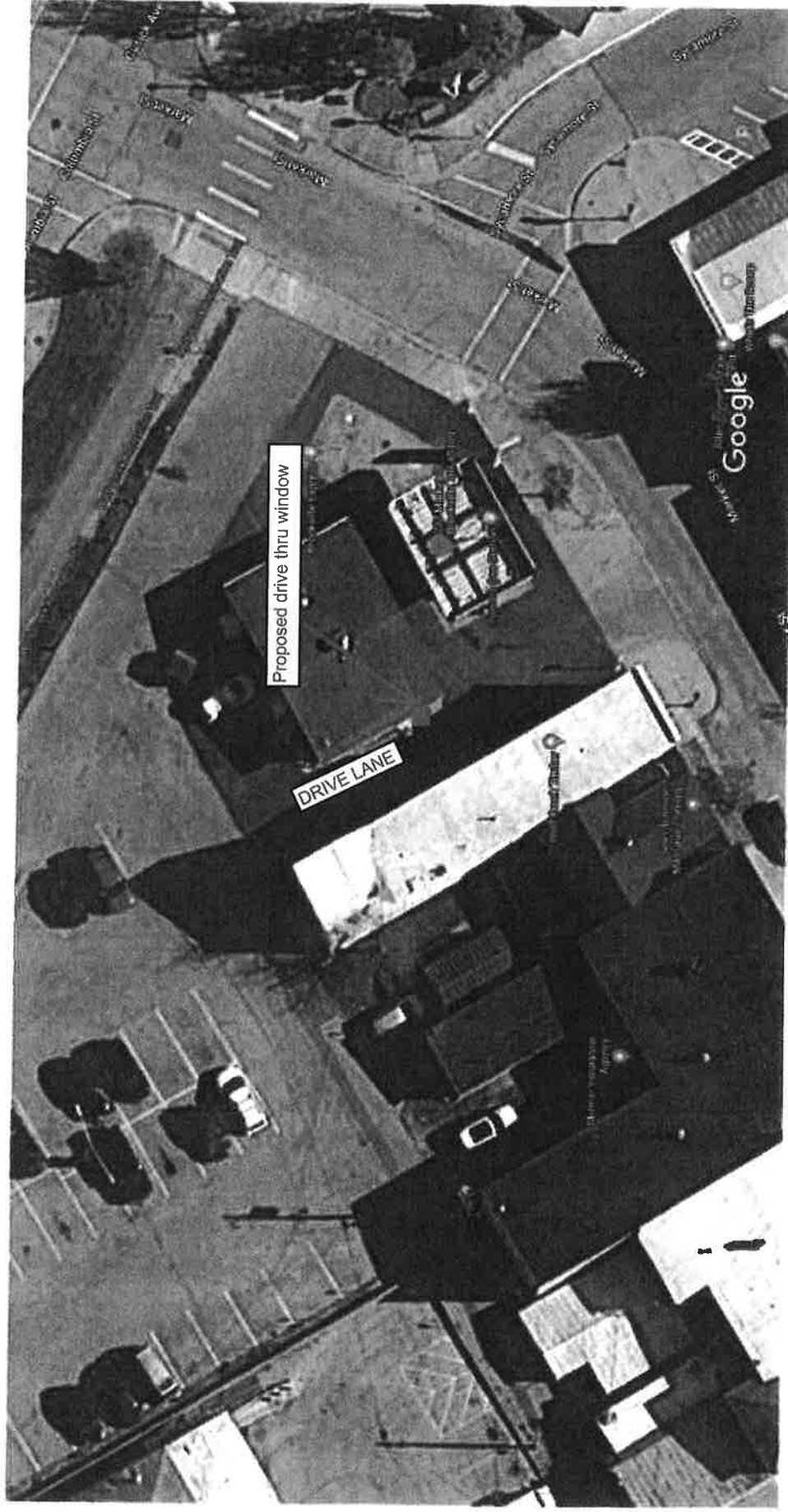
Proposed New framed drive -up window opening.



Scope of work .

1. Install 1) New 3' x 3' sliding drive -up window.
2. Sawcut and remove sidewalk, Bollards and pave back flush .
3. Install 2) 3' x 6" pipe bollards at window and corner of building.
4. Remove old a/c unit .





05-2-1-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000



Scale: 1" = 100'

01/25/49

AS LUCAS 10468
SHEETED P. 1-12
A. J. WILSON
REGISTERED

Book No. 19

NOT RECORDED
NOT RECORDED
NOT RECORDED

0.008 ACRE RECORD PLAN "WACO" STREET DEDICATION PLAT

SECTION 34, TOWNSHIP 4, RANGE 4 EAST
COUNTY OF BROWN COUNTY,
INDIANA

- LEGEND:
- 1. LOT 46
 - 2. LOT 47
 - 3. LOT 48
 - 4. LOT 49
 - 5. LOT 50
 - 6. LOT 51
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ZONING PERMITS 2021-2022

ZONING PERMITS JULY 2022											
Date	Address	Application	Name	Zoning Permit #	Special Use	Subdivision Major/Minor	Zoning Approved/ Denied	Building # Residential Commercial	Building Completion Date	C/O	Misc. Permit Information
7/11/2022	158 Brooke Parke Ave.	Fence Permit	Burrows	4426			A-7-12-22				
7/12/2022	208 S. Wolf Creek	Fence Permit	Wallen	4427			A-7-12-22				
7/15/2022	151 Brooke Park Ave	Fence and Storage Shed Permit	Schuman	4428			A-7-15-22				
7/15/2022	151 Brooke Park Ave	Driveway Extension	Schuman	4429			A-7-15-22				
7/18/2022	75 Ankara Ave	Fence Permit	Davis	4430			A-7-18-22				
7/20/2022	790 Hunters Run Dr.	SFR 1643 Sq. Ft. Slab Preston	Fischer Homes	4431			A-7-22-22				
7/21/2022	829 Flanders Ave.	Driveway extension	Trimble	4432			A-7-21-22				
7/22/2022	612 Hay Ave	Fence Permit	Hawkins	4433			A-7-22-22				
7/25/2022	39 March Ave	Patio and Deck Permit	Finafrock	4434			A-7-25-22				
7/28/2022	611 Vine St	Driveway replacement	Walt	4435			A-7-28-22				