



PLANNING COMMISSION MEETING

Thursday, November 16, 2023, 7:30 PM

CITY HALL

301 SYCAMORE STREET, BROOKVILLE, OHIO 45309

www.brookvilleohio.com

<https://brookvilleoh.webex.com/brookvilleoh/j.php?MTID=m267826e67fa9628afbe28914fc94e612>

Meeting number: 2633 029 3681 Password: 2rRbNJRpd53

Join by phone: +1-415-655-0001 US Toll Access code: 263 302 93681

Agenda

I. Opening

- a. Call to Order
- b. Pledge of Allegiance
- c. Roll Call

II. Adoption of Agenda

III. Approval of Minutes

- a. Approval of October 19, 2023 Regular Meeting Minutes

IV. Casey's - 945 Arlington Road

- a. Site Plan Approval
- b. Record Plan Approval

V. Hilton Hotel - Triggs & Upper Lewisburg Salem Road

- a. Site Plan Approval
- b. Parkview Commercial Subdivision Section Three Record Plan

VI. Pepcon Concrete Mixing - Sakura Drive

- a. Special Use/Site Plan Approval

VII. Reports

- a. Law Director

VIII. Old Business

IX. New Business

X. Adjournment

Chairperson Ryan Henderson • Mayor Chuck Letner

Members: • Ken Claggett • Ronda Dittrick • Tony Ezerski • Dennis Piper • Curt Schreier

Brookville Planning Commission
Regular Meeting
October 19, 2023

The Regular Meeting of the Brookville Planning Commission was called to order by Vice Chairperson Claggett at 7:30 p.m. on October 19, 2023. The meeting was held in the City Council Chambers and virtually using Webex. The Pledge of Allegiance was recited. Mayor Letner, Members Dittrick, Ezerski, and Piper; Law Director Stephan, and Manager Keaton were present. Chairperson Henderson, Member Schreier, and Clerk Duncan were absent.

Roll call by Manager Keaton.

Motion by Dittrick, second by Piper to adopt the Agenda as presented. All yeas, motion carried.

Motion by Ezerski, second by Dittrick to approve the August 17, 2023 Planning Commission Meeting minutes. All yeas, motion carried.

Law Director Stephan reported a petition for annexation of 113.562 acres in Perry Township was approved by the Montgomery County Board of County Commissioners on August 1, 2023. City Council accepted the annexation of the 113.562 acres at its October 17, 2023 meeting. A map of the area being annexed is attached to his Memorandum.

Law Director Stephan specified it is necessary for a zoning district to be assigned to this annexed territory. As part of that process, it is requested that Planning Commission review and make an initial recommendation to City Council for the proposed zoning of the annexed territory. City Council will then commence the zoning process by passing a first reading of an ordinance to establish a zoning district for the property, and after a public hearing on the zoning ordinance, Planning Commission will make a final recommendation to City Council on the proposed zoning ordinance.

Law Director Stephan stated the property on its west boundary is adjacent to vacant land zoned R-1A. The Meadows of Brookville Subdivision is adjacent to the north boundary of the annexed territory, and the zoning category of Meadows of Brookville is R-1C and R-3. There is also an area of I-1 zoning on the north boundary of the property.

Law Director Stephan commented that the property owner, JLR Leasing, LLC, managed by John Ritter, requested annexation to obtain water and sanitary sewer services for a proposed meeting center for a church. The meeting center will contain meeting rooms and a recreation area. It is expected that this meeting center project will occupy approximately five to seven acres. Churches and other buildings for the purpose of religious worship are a Special Use in the residential zoning districts. Law Director Stephan remarked that the property could be zoned R-1A, which would be consistent with the property on the west boundary of this property, and then the meeting center could be approved by Planning Commission as a Special Use. Other residential zoning districts, including R-1B or R-1C, could also be applied to this property, with the same Special Use approval for the church meeting center. They are working on a site plan for this project, which will be before Planning Commission soon.

Member Claggett commented R-1A zoning seems to be a good choice since there is such a large boundary of R-1A to the west.

Member Ezerski concurred.

Mayor Letner inquired if there are future plans for this site.

Law Director Stephan responded there are no future plans for the property. There is currently a barn/house that is currently there that would fit this zoning.

Mayor Letner stated this seems to be the best zoning for this area.

Law Director Stephan commented he spoke with John Ritter today, and he is good with R-1A zoning for this land.

Motion by Dittrick, second by Ezerski to recommend to Council the zoning of R-1A, Suburban Residential, to the recently annexed 113.562 acres in Perry Township. All yeas, motion carried.

Law Director Stephan commented that Planning Commission has a copy of zoning permits that covers August and September.

Law Director pointed out we just issued a zoning permit for one of the last lots to be built on from the 2019 Memorial Day tornado.

There was no Old Business.

In New Business, Manager Keaton announced Planning Commission should have two Memorandums from her, the first regarding the 2023 Replacement Pages. Please insert your new pages as soon as possible.

Manager Keaton announced City Council authorized the City to pay the registration fee for those on Planning Commission who would like to attend the 35th Annual Miami Valley Planning and Zoning Workshop to be held at Sinclair Community College on December 1, 2023. Manager Keaton asked that any Planning Commission interested in attending let her know by mid-November if they would like to attend.

Motion by Piper, second by Ezerski to adjourn. All yeas, motion carried.

Sonja M. Keaton, City Manager

Ken Claggett, Vice Chairperson

MEMORANDUM:

DATE: NOVEMBER 10, 2023

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

RE: CASEY'S-945 ARLINGTON RD.

A site plan application has been filed by McBride, Dale, Clarion on behalf of Casey's for site plan approval for a new Casey's to be constructed at 945 Arlington Road which is located at the corner of Arlington Road and W. Campus Blvd. A county auditor map of the property is attached to this Memorandum. The project will be built on County Auditor Parcels C05 00611 0003 and C05 00611 0004. The project site is 3.4 acres.

The proposed project for Casey's is to construct a 4350 sq. ft. convenience store with a 2500 sq. ft. automobile fueling canopy over 4-double sided fuel dispensers and a 3 lane 1700 sq. ft. diesel fueling canopy. The site plan provides 24 parking spaces. The site plan provides for driveway access from Arlington Road and W. Campus Blvd. as set forth in the project description and site plan.

The property is located in a Highway Service Zoning District. Automobile service stations are a permitted use under Section 1139.02(a)(4) in the Highway Service Zoning District. Convenience food stores that primarily provide products and services for interstate travelers are also a permitted use under Section 1139.02 (a) (19). The plan also includes a diesel fueling area that will provide three lanes for diesel fueling that will be of sufficient size for truck fueling. Truck service stations are a special use under Section 1139.02(b) (1) in the Highway Service Zoning district.

The site plan provides for a 50-foot setback and a landscape buffer on the north boundary that abuts a residential property.

A sign packet is included in the Site Development Plan application. Approval of the site development plan application will include approval of the proposed signs for the project as set forth in the sign packet. The high-rise sign is 120 feet high and will exceed the maximum sign height of 100 feet in Section 1161.04.3 of the Code of Ordinances. The sign area of the high-rise sign of 718 sq. ft. will also

exceed the maximum sign area of 200 sq. ft. Planning Commission is authorized by 1105.03(c) to approve the sign height and size variances requested. The sign height and size are needed to improve visibility to customers on Interstate 70.

It is requested that Planning Commission approve the site plan development application for the Casey's project at 945 Arlington Rd. as submitted.

A subdivision plan is also proposed to combine the existing two lots into a single lot for this project. The subdivision plan meets the required subdivision standards, and it is requested that Planning Commission approve the proposed record plan for the Casey's project.



SITE DEVELOPMENT PLAN APPLICATION

The undersigned hereby applies for Site Development Plan Approval. The review procedure and criteria are established in Chapter 1167 of the City of Brookville Zoning Code. Section 1167.05 sets forth the required contents of the Site Development Application and is attached to this Application. The Zoning Enforcement Officer is authorized to waive any requirements that do not apply to the proposed project, and to permit the existing conditions map and site plan to be combined into a single map.

Applicant:

1. Applicant Casey's #4402
2. Contact Person: Robert Sweet - McBride Dale Clarion
3. Contact Address: 5721 Dragon Way, Ste. 300, Cincinnati, Ohio 45227
4. Contact Email: rsweet@mcbriedale.com

Project Site:

1. Project
Address: 945 Arlington Road
2. Montgomery County County Auditor Parcel ID: C05 00611 0004 & C05 00611 0003
3. Existing Zoning District: "HC" Highway Commercial
4. Describe Existing Use of the Property: Farm / Vacant

Proposed Use of the Property: Describe the proposed use of the property:

Casey's proposes to construct a convenience store and fuel sales facility on the parcels making up the subject property.

Buildings: For any buildings to be constructed on the project site, please include the following information on the site development plan:

1. Building Height: 23'
2. Building Footprint Area: 4,350+/- SF
3. Building Floor Area: 4,350+/- SF
4. Front Yard Setback: 146'+/- from Arlington Road / 104'+/- from West Campus
5. Rear Yard Setback: 267'+/- from west property line
6. Side Yard Setback: 120'+/- from north property line

Setbacks are measured from the foundation of the building to the boundary line of the property.

Traffic Study: Under 1167.05(e), the Planning Commission or City Manager may require the applicant to provide a traffic study.

The applicant hereby certifies that they have submitted with this application the plat plan, existing conditions map, and site development plan required by Section 1167.05 unless any of those requirements are waived by the Zoning Enforcement Officer. Upon review of the site development plan, the Zoning Enforcement Officer or Planning Commission may request additional information from the applicant, and the applicant shall be permitted to supplement or amend this application to provide the requested information.

The applicant hereby certifies that, to the best of my knowledge, the information contained in this application is true and correct. Furthermore, I hereby certify that I am the property owner or the duly authorized representative or agent of the property owner for this application.

November 9, 2023

Date



Signature of Applicant

Robert Sweet - McBride Dale Clarion

Printed Name of Applicant

Approved by:

Zoning Enforcement Officer

Date

Planning Commission

Date

Fee Paid: _____

Date: _____

September 25, 2023

Mr. Rod Stephan
Law Director
City of Brookville
301 Sycamore Street
Brookville, Ohio 45309

RE: Authorization Letter for Casey's General Stores
Dear Mr. Stephan:

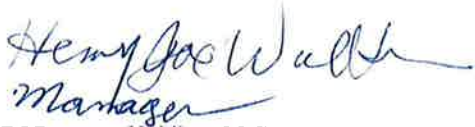
Casey's General Stores (Casey's) have a contract to purchase two parcels of property, totaling 3.42 +/- acres of property located at the northwest corner of the intersection of Arlington Road and West Campus Boulevard. The subject parcels are identified as Parcel ID: C05 00611 0003 & C05 00611 0004. Casey's proposes to develop convenience store and fuel sales facility on the property.

I am authorizing their development team of: Casey's, Choice One Engineering, CESO, and McBride Dale Clarion to obtain zoning, site, building, and other necessary development approvals and permits associated with the project. We are also granting their team authority to make presentations during the public meetings and hearings associated with required land use and zoning approvals.

Please review and contact me immediately if additional information is necessary. I can be reached at 937-409-5800 or email at h.j.w1946@aol.com

Thank you for your assistance.

Sincerely,



Henry Joe Walsh
Manager

RJ Property Holdings LLC
5745 Georgetown Verona Road
Lewisburg, Ohio 45338

cc: Casey's
Choice One Engineering
CESO
McBride Dale Clarion



November 9, 2023

Mr. Rod Stephan
Law Director
City of Brookville
301 Sycamore Street
Brookville, Ohio 44906

Via Email

RE: Casey's #4402 – Site Development Plan Review

Dear Rod:

On behalf of Casey's, I am transmitting this letter and enclosed materials requesting a Site Development Plan review associated with the proposed construction of a Casey's General Store and fueling facility at 945 Arlington Road (Parcel #'s C05 00611 0003 & C05 00611 0004). Our development team met with staff on/around August 28, 2023, to discuss the project and the review process associated with the requests.

Casey's proposes to construct a 4,350+/- square foot convenience store (general store) and two fuel canopies, totaling 4,200+/- to service automobile and diesel customers. A total of 24 parking spaces are proposed for the development. The development proposes a full movement driveway along Arlington Road and directional driveways along West Campus Boulevard. The proposed development will provide landscaping and screening, as well as signage and lighting.

To initiate review, I am transmitting a digital copy of the following materials:

- A Site Development Plan Application;
- An Authorization Letter;
- A project Description;
- A copy of the Final Site Plan set;
- A copy of the sign packet illustrating the proposed signage for the development;
- A copy of the Stormwater/Drainage Report; and
- A check in the amount of \$300.00 to cover fees associated with the requests. (Mailed under separate cover.)

Please review the enclosed materials and contact me immediately if additional information is needed. For your information, the lot consolidation / record plan is in the process of being prepared and will be submitted separately.

Thank you for your continued assistance with this project. Our team looks forward to presenting this request to the City of Brookville Planning Commission.

Sincerely,

A handwritten signature in blue ink, appearing to read "Robert C. Sweet", written over a horizontal line.

Robert C. Sweet

Cc: Casey's
Choice One Engineering
File

MDC #4931

Planning • Zoning • Development Services

Casey's #4402
Project Description
945 Arlington Road
Brookville, Ohio

Casey's has a contract to purchase two parcels totaling 3.42+/- acres (Parcel ID: C05 00611 0004 & C05 00611 0003) at 945 Arlington Road. The properties associated with the request are zoned "HC" Highway Commercial District within the City of Brookville zoning jurisdiction. Casey's proposes to develop the site with a convenience store and fuel sales facility.

Project Description

Casey's proposes to develop a 4,350 +/- square foot convenience store with a 2,500+/- square foot automobile fueling canopy over 4-double-sided fuel dispensers, and a 3 lane - 1,700+/- square foot diesel fueling canopy. A total of 24 parking spaces are proposed: 16 surface spaces + 1 space per fueling position (total of 8 spaces). The facility proposes a 35' wide full movement driveway along Arlington Road. Along West Campus Boulevard, three (3) driveways are proposed – a 30' "in" only driveway for the diesel canopy, a 40' combined truck exit/full movement automobile driveway, and a 15' right-in only driveway for automobiles. A 5' wide sidewalk is proposed along West Campus Boulevard. Underground storage tanks and a loading zone are proposed on the northern elevation of the building.

The proposed convenience store is a flat roofed structure, approximately 22' tall, and constructed of Redstone antique brick. Stone columns are provided on the corners of the building. The entry feature projects roughly 4' from the plane of the front façade. An ACM panel system and glazing providing views into the store is proposed along the primary elevation. The main entrance to the convenience store is on the eastern elevation facing Arlington Road. A secondary entrance is provided on the western elevation for the diesel canopy. Service entrances are proposed on the northern and southern elevations of the building.

Enhancement of the primary elevation is completed with the use of decorative lighting fixtures on the building walls and lighting fixtures flush mounted into the soffit of the convenience store. Mechanical units for the convenience store are installed on the roof. A flat roofed metal canopy is proposed. A 20' x 20' dumpster enclosure is proposed on the south elevation of the building.

Proposed landscaping for the site is a combination of deciduous trees, deciduous shrubs, and ground covers. A total of 40 evergreen trees are provided along the northern property line to create a screen in-lieu of providing a fence. Areas not landscaped or occupied by a building, structure, or pavement will be sodded or seeded.

In addition to the lighting fixtures on the building, the proposed site lighting for the development consists of a combination of pole mounted and structure mounted fixtures throughout the site. Area lighting consists of fixtures mounted on 17' poles in the automobile area and 32' poles in the diesel area of the site. The canopies propose flush mounted fixtures in the ceiling deck of the structure. All of the proposed lighting fixtures are LED and full cut-off to prevent up-lighting or side lighting. Along the north property line, lighting intensity is estimated to range between 0.0 and 0.3 foot-candles. This measurement does not consider the proposed screening.

The development proposes the following signage:

- A ground mount sign installed along Arlington Road. The sign is 10' tall and includes a price panel. Overall square footage of the sign is 46 square feet.
- An interstate sign is proposed at the northeast corner of the site (near the Arlington Road and West Campus Boulevard intersection). The proposed sign is 120' tall and includes a Casey's House Logo, a price panel advertising unleaded and diesel prices, and a DEF panel. The overall square footage of the sign is 718 square feet.
- Attached signage on the building includes a Casey's sign above the main entry and house logo above the rear entry. Overall sign area on the building is 104 square feet.
- The attached signage on the automobile canopy consists of two (2) Casey's script signs totaling 30 square feet.
- Attached signage on the diesel canopy consists of a Casey's script sign totaling 15 square feet.
- Two directional signs – one (1) "Truck Entrance" and one (1) "Truck Exit" sign at the respective driveways. Both signs are 7.5 square feet (15 square feet total) and do not contain advertising.
- Interstate sign justification
 - The proposed interstate sign is larger than what the code allows, and our team is requesting approval of the sign. The proposed interstate sign is 120' tall, 718 square feet in area, and approximately 1,400 feet from the interstate interchange. The requested size and height is the minimum necessary to provide sufficient visibility to potential customers on I-70 for them to timely and safely exit at the interchange, and for the sign to avoid being blocked by existing and future vegetation and/or structures.

Casey's believes the proposed development will provide a use that will have a positive impact on the community and provide an additional fueling and food option at the interchange. The new development will add a support business for the existing warehousing uses and the new GM factory. We look forward to discussing the project with the City of Brookville representatives and respectfully request approval of the proposed site plan and lot consolidation request.



Casey's

SIGN PACKET

JACOB CLARK
jacob.clark@caseys.com

Brookville, OH #4402

New Store

10-17-23

Building & Wall Signs (U4 Flat Roof Rear Door)									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft²
					Height	Width	Bottom	Top	
1	"Casey's"	Surface	Building Front	Internal	6'-0"	15' 4-1/4"	12' 7"	18' 7"	92.12
2	House Logo	Surface	Building Rear	Internal	2' 5"	4' 5-1/2"	8' 6"	10' 11"	11.76
								Total	103.88

Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft²
					Height	Width	Bottom	Top	
5	"Casey's"	Surface	Canopy Front	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
5	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
								Total	29.9

Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft²
					Height	Width	Bottom	Top	
5	"Casey's"	Surface	Canopy Rear	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
								Total	14.95

Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft²
					Height	Width	Bottom	Top	
6	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	2' 0"	4' 0"	3' 1"	4' 4"	5
								Total	47.25

Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft²
					Height	Width	Bottom	Top	
7	House Logo	Freestanding	Street	Internal	15' 0"	22' 9-3/8"	105' 0"	120' 0"	290
	Price Sign	Freestanding	Street	Internal	13' 3"	34' 8"	92' 9"	103' 0"	356
	DEF	Freestanding	Street	Internal	6' 0"	12' 0"	84' 9"	90' 9"	72
								Total	718

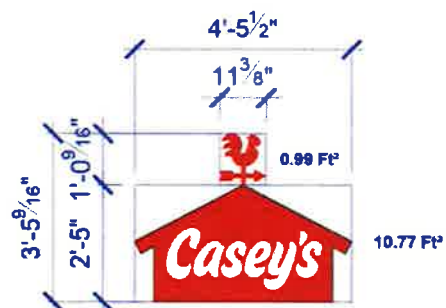
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft²
					Height	Width	Bottom	Top	
8	Truck Entrance	Freestanding	Street	Internal	2' 0"	3' 9"	3' 0"	5' 0"	7.5
8	Truck Exit	Freestanding	Street	Internal	2' 0"	3' 9"	3' 0"	5' 0"	7.5
								Total	15

SIGNS 1, 2

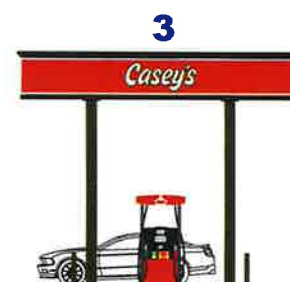
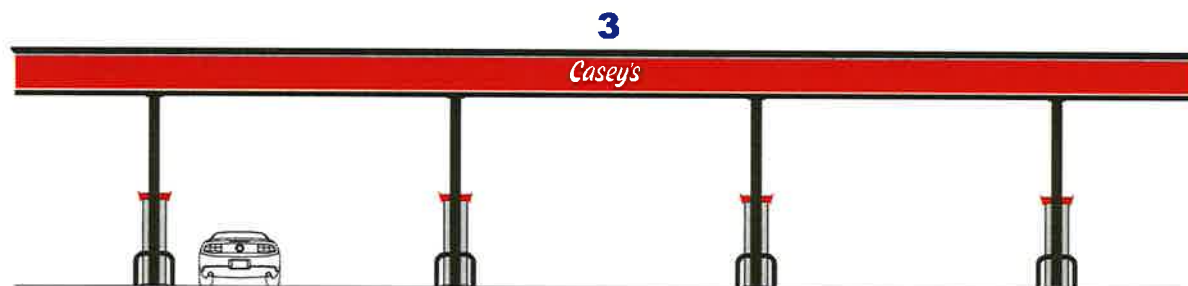
1



2



SIGN 3



GAS CANOPY 4 IN A ROW HEAD-IN

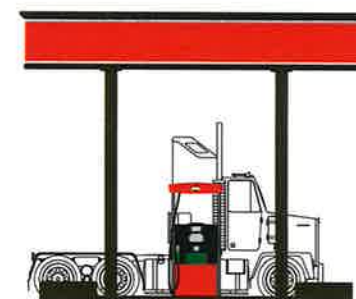
DRAWN BY:
J. CLARK

DATE:
02-08-21

SIGN 3



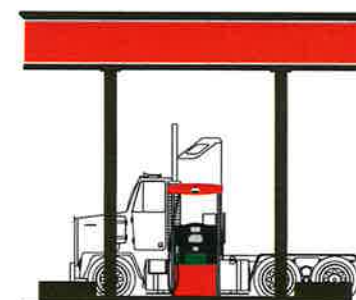
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



BROOKEVILLE, OH #4402

DIESEL CANOPY

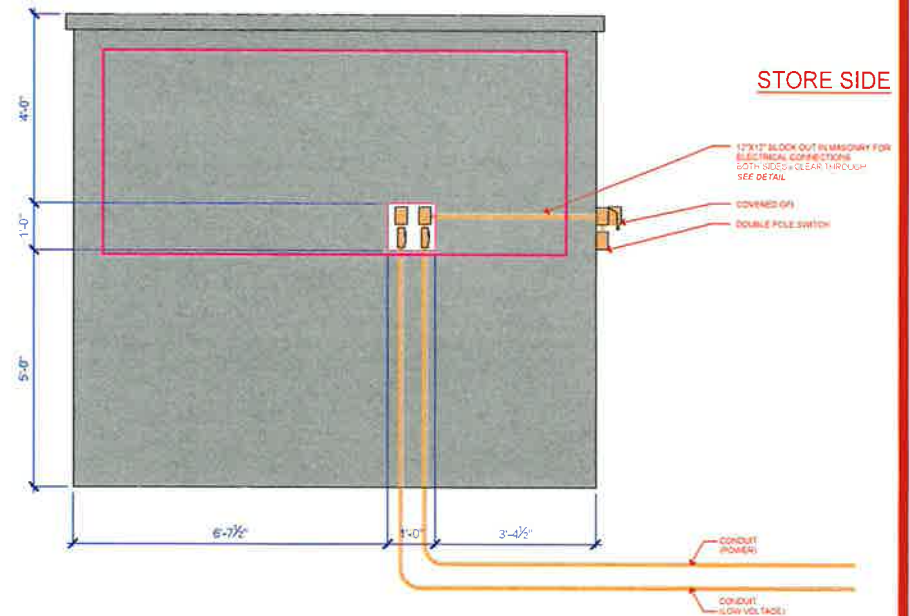
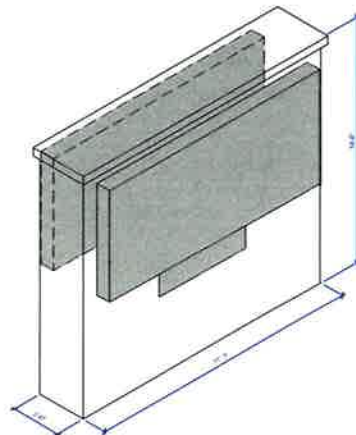
DRAWN BY:
J. CLARK

DATE:
08-15-23

Brick Monument Sign (10' OAH)

SIGN 4

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
6	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	1' 6"	2' 6"	3' 0"	4' 6"	3.75
Total									46



PRICER NOTES:

- 13" RED AND GREEN LED DIGITS
- STATIC LABELS, NON-INTERCHANGEABLE
- DIESEL ON THE RIGHT, BOTH SIDES

OTHER NOTES

- PRODUCT "TAG" IS NON-ILLUMINATED
- CABINET IS BLACK IN COLOR
- 300' WIRELESS KEYPAD RANGE



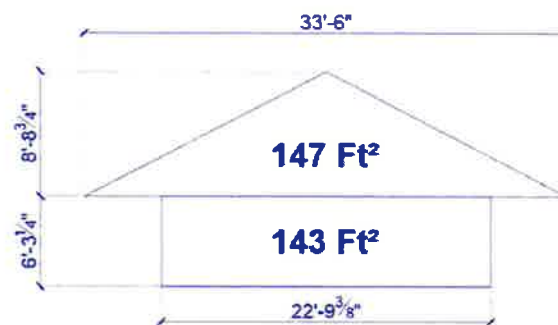
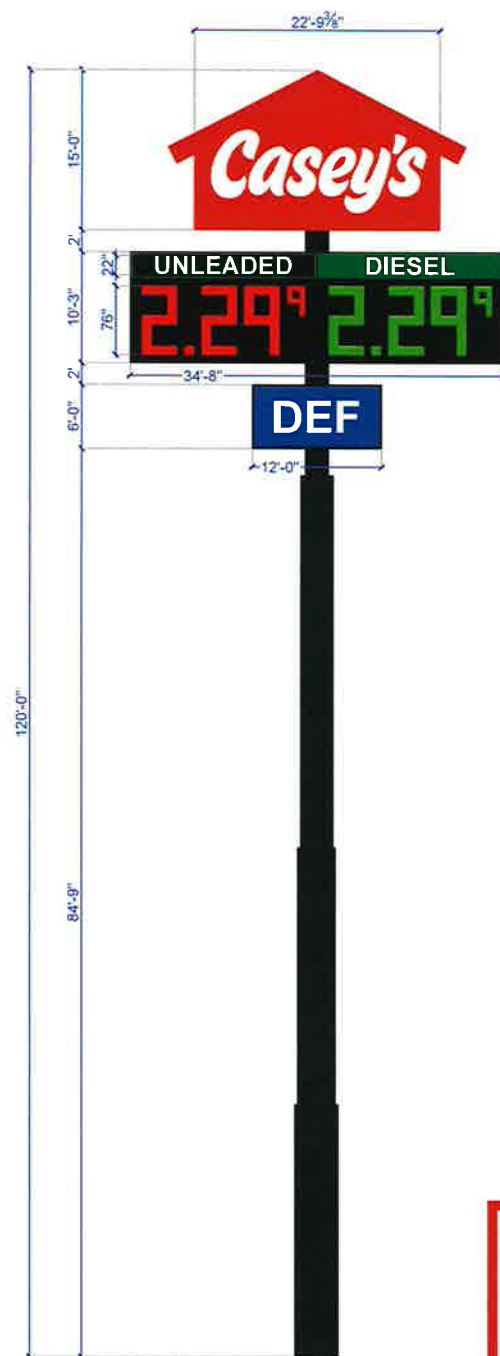
BRICK MONUMENT SIGN

10' OAH - 3 PRODUCT

DRAWN BY:
J. CLARK

DATE:
07-20-22

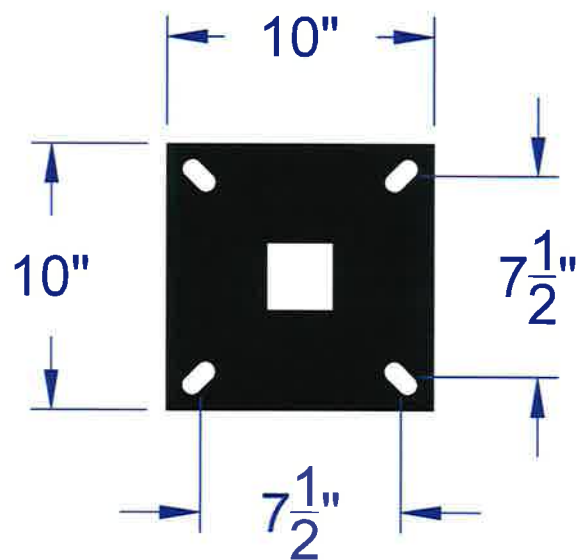
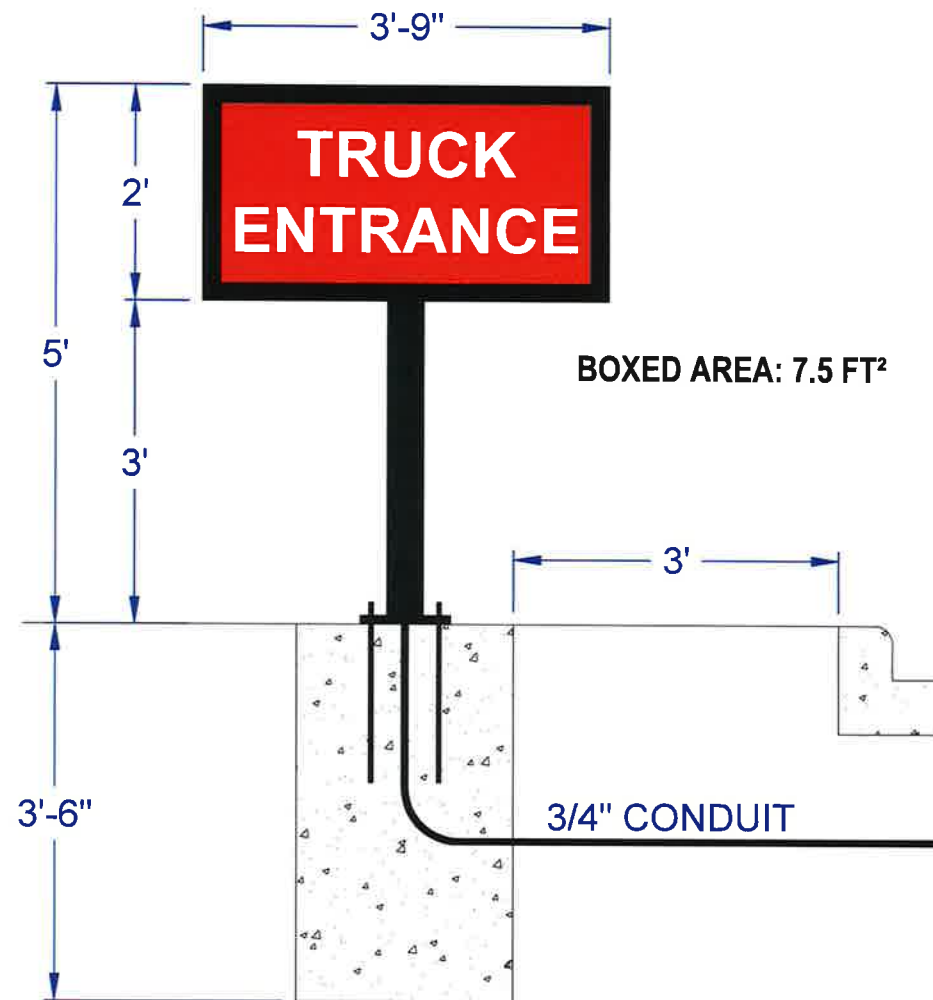
SIGN 5



BROOKEVILLE, OH
HI-RISE SIGN

DRAWN BY:
J. CLARK

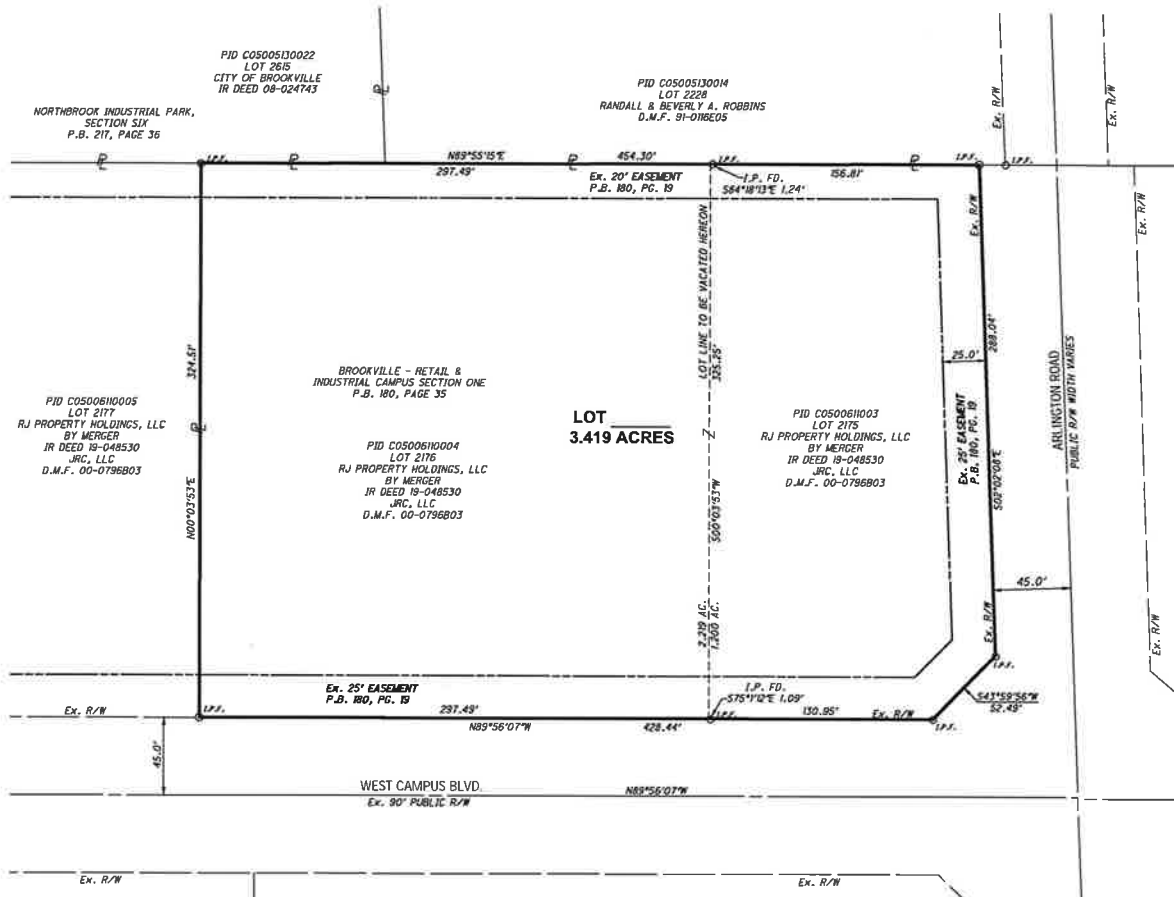
DATE:
01-01-23

**TRUCK
ENTRANCE**QTY. 1
DOUBLE SIDED**TRUCK
EXIT**QTY. 1
DOUBLE SIDED**BASEPLATE DETAIL**1/2" Ø ANCHOR BOLTS
7"-8" PATTERN**BROOKEVILLE, OH #4402**
DIESEL CANOPYDRAWN BY:
J. CLARKDATE:
08-15-23

RECORD PLAN
CASEY'S REPLAT

BEING A REPLAT OF LOT 2175 AND LOT 2176 OF THE BROOKVILLE - RETAIL & INDUSTRIAL CAMPUS SECTION ONE AND OF THE CONSECUTIVE LOTS OF THE CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO

3.419 ACRES TOTAL



THE BEARING OF N89°56'07\"/>



VICINITY MAP

DESCRIPTION

BEING A REPLAT OF LOT 2175 AND LOT 2176 OF THE BROOKVILLE - RETAIL & INDUSTRIAL CAMPUS SECTION ONE AS SHOWN ON PLAT BOOK 180, PAGE 35 AND BEING SITUATE IN SECTION 28, TOWN 6, RANGE 4 EAST, CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO, OWNED BY RJ PROPERTY HOLDINGS, LLC BY MERGER RECORDED IN IR DEED 19-048530 OF THE MONTGOMERY COUNTY DEED RECORDS.

CONSENT TO PLAT & ACKNOWLEDGMENT

I, THE UNDERSIGNED, BEING THE OWNER OF THE LAND HEREIN PLATTED, DO HEREBY ACCEPT AND APPROVE THIS PLAT AND DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT.

OWNER: RJ PROPERTY HOLDINGS, LLC

AUTHORIZED SIGNATURE

STATE OF OHIO, _____ COUNTY, SS
BEFORE ME, A NOTARY PUBLIC, IN AND FOR THE STATE OF OHIO, PERSONALLY APPEARED _____, ON BEHALF OF RJ PROPERTY HOLDINGS, LLC, WHO EXECUTED THE FOREGOING PLAT, WHO ACKNOWLEDGED THAT SHE DID SIGN SUCH INSTRUMENT IS HER FREE ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SUBSCRIBED MY NAME AND AFFIXED MY OFFICIAL SEAL AT _____, OHIO, THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

APPROVALS
APPROVED THIS _____ DAY OF _____, 20____
BY THE PLANNING COMMISSION OF THE CITY OF BROOKVILLE, OHIO

CHAIRMAN

APPROVED AND ACCEPTED THIS _____ DAY OF _____, 20____
BY THE COUNCIL OF THE CITY OF BROOKVILLE, OHIO

MAYOR

CLERK

COUNTY APPROVAL

FILE # _____

MONTGOMERY COUNTY ENGINEER

DATE

CHECKED BY

DATE

OCCUPATION STATEMENT

Lines of Occupation (where existing) in General Agree with Property Lines.

PROPERTY LINES CALCULATED FROM EXISTING MONUMENTATION AND SURVEYS OF RECORD.

PERTINENT INFORMATION

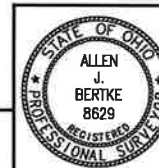
PLAT BOOK 180, PAGE 19
PLAT BOOK 180, PAGE 35
PLAT BOOK 217, PAGE 36

CERTIFICATION

I HEREBY CERTIFY THIS PLAT WAS PREPARED IN ACCORDANCE WITH O.A.C., CHAPTER 4733.37 STANDARDS OF PLAT OF SURVEYS AND ALSO CONFORMS TO THE O.R.C., CHAPTER 711 FOR RECORD PLANS AND WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND BASED ON ACTUAL FIELDWORK PERFORMED IN JUNE, 2023. ALL MEASUREMENTS ARE CORRECT AND MONUMENTS ARE SET OR TO BE SET AS SHOWN.

ALLEN J. BERTKE, P.S. #8629

DATE



PREPARED BY:

ChoiceOne
Engineering

SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.229.8354

www.CHOICEONEENGINEERING.com

DATE:
11-09-2023

DRAWN BY:
RMF

JOB NUMBER:
MOTBRO2309

SHEET NUMBER

/ OF /

MEMORANDUM:

DATE: NOVEMBER 10, 2023

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

RE: CASEY'S-945 ARLINGTON RD.

A site plan application has been filed by McBride, Dale, Clarion on behalf of Casey's for site plan approval for a new Casey's to be constructed at 945 Arlington Road which is located at the corner of Arlington Road and W. Campus Blvd. A county auditor map of the property is attached to this Memorandum. The project will be built on County Auditor Parcels C05 00611 0003 and C05 00611 0004. The project site is 3.4 acres.

The proposed project for Casey's is to construct a 4350 sq. ft. convenience store with a 2500 sq. ft. automobile fueling canopy over 4-double sided fuel dispensers and a 3 lane 1700 sq. ft. diesel fueling canopy. The site plan provides 24 parking spaces. The site plan provides for driveway access from Arlington Road and W. Campus Blvd. as set forth in the project description and site plan.

The property is located in a Highway Service Zoning District. Automobile service stations are a permitted use under Section 1139.02(a)(4) in the Highway Service Zoning District. Convenience food stores that primarily provide products and services for interstate travelers are also a permitted use under Section 1139.02 (a) (19). The plan also includes a diesel fueling area that will provide three lanes for diesel fueling that will be of sufficient size for truck fueling. Truck service stations are a special use under Section 1139.02(b) (1) in the Highway Service Zoning district.

The site plan provides for a 50-foot setback and a landscape buffer on the north boundary that abuts a residential property.

A sign packet is included in the Site Development Plan application. Approval of the site development plan application will include approval of the proposed signs for the project as set forth in the sign packet. The high-rise sign is 120 feet high and will exceed the maximum sign height of 100 feet in Section 1161.04.3 of the Code of Ordinances. The sign area of the high-rise sign of 718 sq. ft. will also



SITE DEVELOPMENT PLAN APPLICATION

The undersigned hereby applies for Site Development Plan Approval. The review procedure and criteria are established in Chapter 1167 of the City of Brookville Zoning Code. Section 1167.05 sets forth the required contents of the Site Development Application and is attached to this Application. The Zoning Enforcement Officer is authorized to waive any requirements that do not apply to the proposed project, and to permit the existing conditions map and site plan to be combined into a single map.

Applicant:

1. Applicant Casey's #4402
2. Contact Person: Robert Sweet - McBride Dale Clarion
3. Contact Address: 5721 Dragon Way, Ste. 300, Cincinnati, Ohio 45227
4. Contact Email: rsweet@mcbriedale.com

Project Site:

1. Project
Address: 945 Arlington Road
2. Montgomery County County Auditor Parcel ID: C05 00611 0004 & C05 00611 0003
3. Existing Zoning District: "HC" Highway Commercial
4. Describe Existing Use of the Property: Farm / Vacant

Proposed Use of the Property: Describe the proposed use of the property:

Casey's proposes to construct a convenience store and fuel sales facility on the parcels making up the subject property.

Buildings: For any buildings to be constructed on the project site, please include the following information on the site development plan:

1. Building Height: 23'
2. Building Footprint Area: 4,350+/- SF
3. Building Floor Area: 4,350+/- SF
4. Front Yard Setback: 146'+/- from Arlington Road / 104'+/- from West Campus
5. Rear Yard Setback: 267'+/- from west property line
6. Side Yard Setback: 120'+/- from north property line

Setbacks are measured from the foundation of the building to the boundary line of the property.

September 25, 2023

Mr. Rod Stephan
Law Director
City of Brookville
301 Sycamore Street
Brookville, Ohio 45309

RE: Authorization Letter for Casey's General Stores
Dear Mr. Stephan:

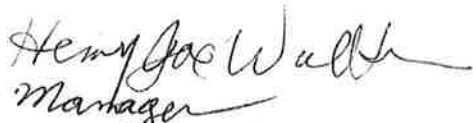
Casey's General Stores (Casey's) have a contract to purchase two parcels of property, totaling 3.42 +/- acres of property located at the northwest corner of the intersection of Arlington Road and West Campus Boulevard. The subject parcels are identified as Parcel ID: C05 00611 0003 & C05 00611 0004. Casey's proposes to develop convenience store and fuel sales facility on the property.

I am authorizing their development team of: Casey's, Choice One Engineering, CESO, and McBride Dale Clarion to obtain zoning, site, building, and other necessary development approvals and permits associated with the project. We are also granting their team authority to make presentations during the public meetings and hearings associated with required land use and zoning approvals.

Please review and contact me immediately if additional information is necessary. I can be reached at 937-409-5800 or email at h.j.w1946@aol.com

Thank you for your assistance.

Sincerely,


Manager

RJ Property Holdings LLC
5745 Georgetown Verona Road
Lewisburg, Ohio 45338

cc: Casey's
Choice One Engineering
CESO
McBride Dale Clarion

Casey's #4402
Project Description
945 Arlington Road
Brookville, Ohio

Casey's has a contract to purchase two parcels totaling 3.42+/- acres (Parcel ID: C05 00611 0004 & C05 00611 0003) at 945 Arlington Road. The properties associated with the request are zoned "HC" Highway Commercial District within the City of Brookville zoning jurisdiction. Casey's proposes to develop the site with a convenience store and fuel sales facility.

Project Description

Casey's proposes to develop a 4,350 +/- square foot convenience store with a 2,500+/- square foot automobile fueling canopy over 4-double-sided fuel dispensers, and a 3 lane - 1,700+/- square foot diesel fueling canopy. A total of 24 parking spaces are proposed: 16 surface spaces + 1 space per fueling position (total of 8 spaces). The facility proposes a 35' wide full movement driveway along Arlington Road. Along West Campus Boulevard, three (3) driveways are proposed – a 30' "in" only driveway for the diesel canopy, a 40' combined truck exit/full movement automobile driveway, and a 15' right-in only driveway for automobiles. A 5' wide sidewalk is proposed along West Campus Boulevard. Underground storage tanks and a loading zone are proposed on the northern elevation of the building.

The proposed convenience store is a flat roofed structure, approximately 22' tall, and constructed of Redstone antique brick. Stone columns are provided on the corners of the building. The entry feature projects roughly 4' from the plane of the front façade. An ACM panel system and glazing providing views into the store is proposed along the primary elevation. The main entrance to the convenience store is on the eastern elevation facing Arlington Road. A secondary entrance is provided on the western elevation for the diesel canopy. Service entrances are proposed on the northern and southern elevations of the building.

Enhancement of the primary elevation is completed with the use of decorative lighting fixtures on the building walls and lighting fixtures flush mounted into the soffit of the convenience store. Mechanical units for the convenience store are installed on the roof. A flat roofed metal canopy is proposed. A 20' x 20' dumpster enclosure is proposed on the south elevation of the building.

Proposed landscaping for the site is a combination of deciduous trees, deciduous shrubs, and ground covers. A total of 40 evergreen trees are provided along the northern property line to create a screen in-lieu of providing a fence. Areas not landscaped or occupied by a building, structure, or pavement will be sodded or seeded.

In addition to the lighting fixtures on the building, the proposed site lighting for the development consists of a combination of pole mounted and structure mounted fixtures throughout the site. Area lighting consists of fixtures mounted on 17' poles in the automobile area and 32' poles in the diesel area of the site. The canopies propose flush mounted fixtures in the ceiling deck of the structure. All of the proposed lighting fixtures are LED and full cut-off to prevent up-lighting or side lighting. Along the north property line, lighting intensity is estimated to range between 0.0 and 0.3 foot-candles. This measurement does not consider the proposed screening.



Casey's

SIGN PACKET

JACOB CLARK
jacob.clark@caseys.com

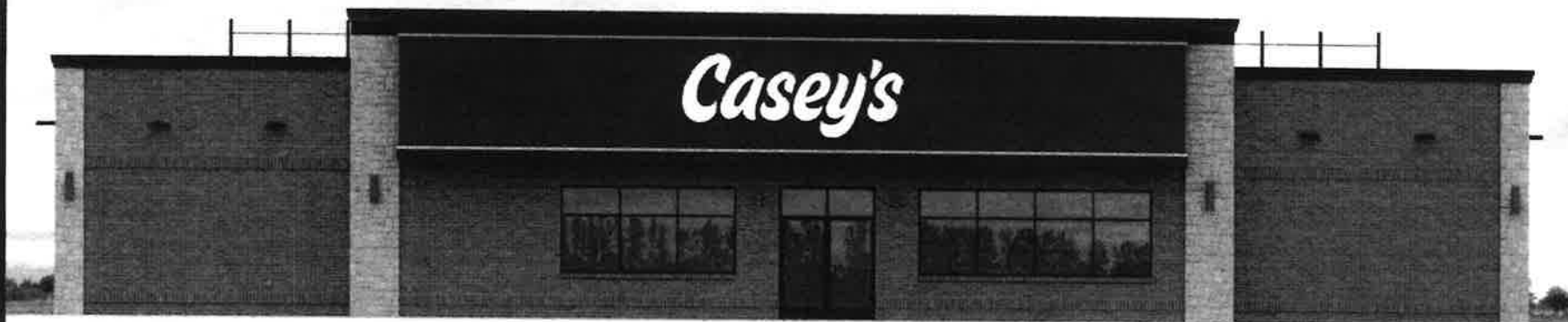
Brookville, OH #4402

New Store

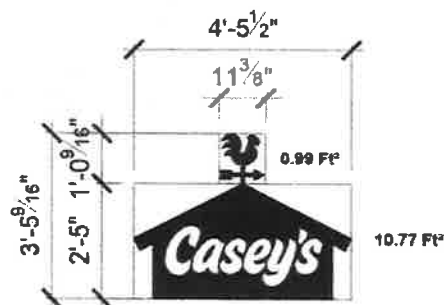
10-17-23

SIGNS 1, 2

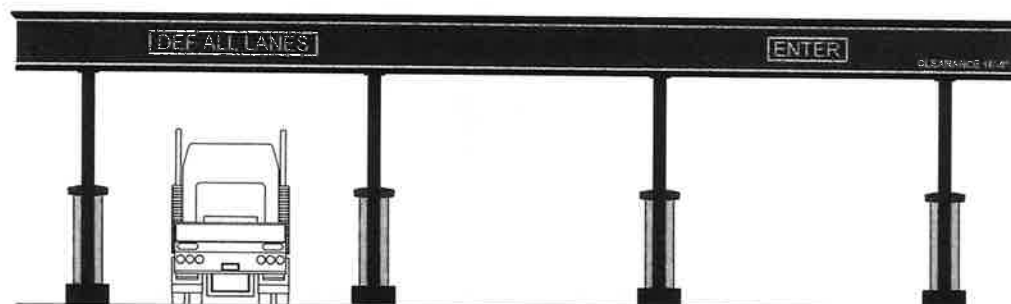
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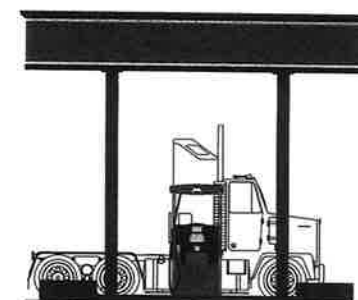
2



SIGN 3



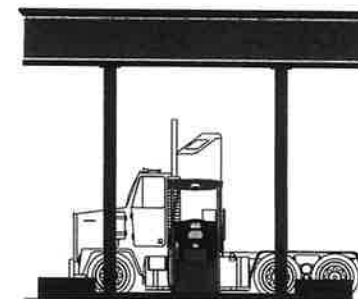
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



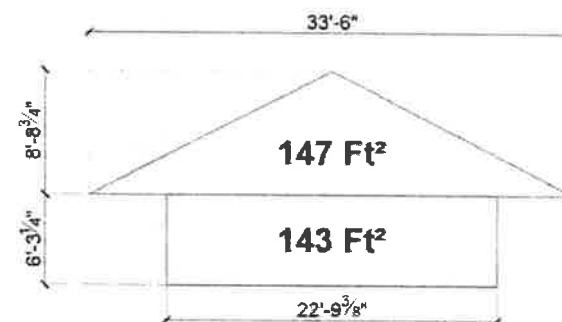
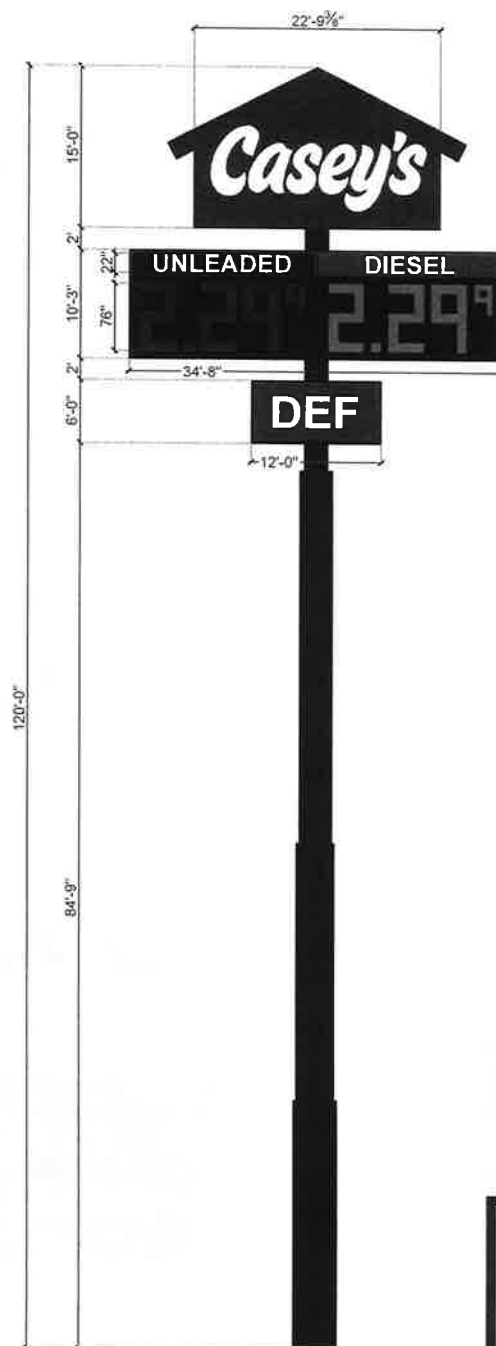
BROOKEVILLE, OH #4402

DIESEL CANOPY

DRAWN BY:
J. CLARK

DATE:
08-15-23

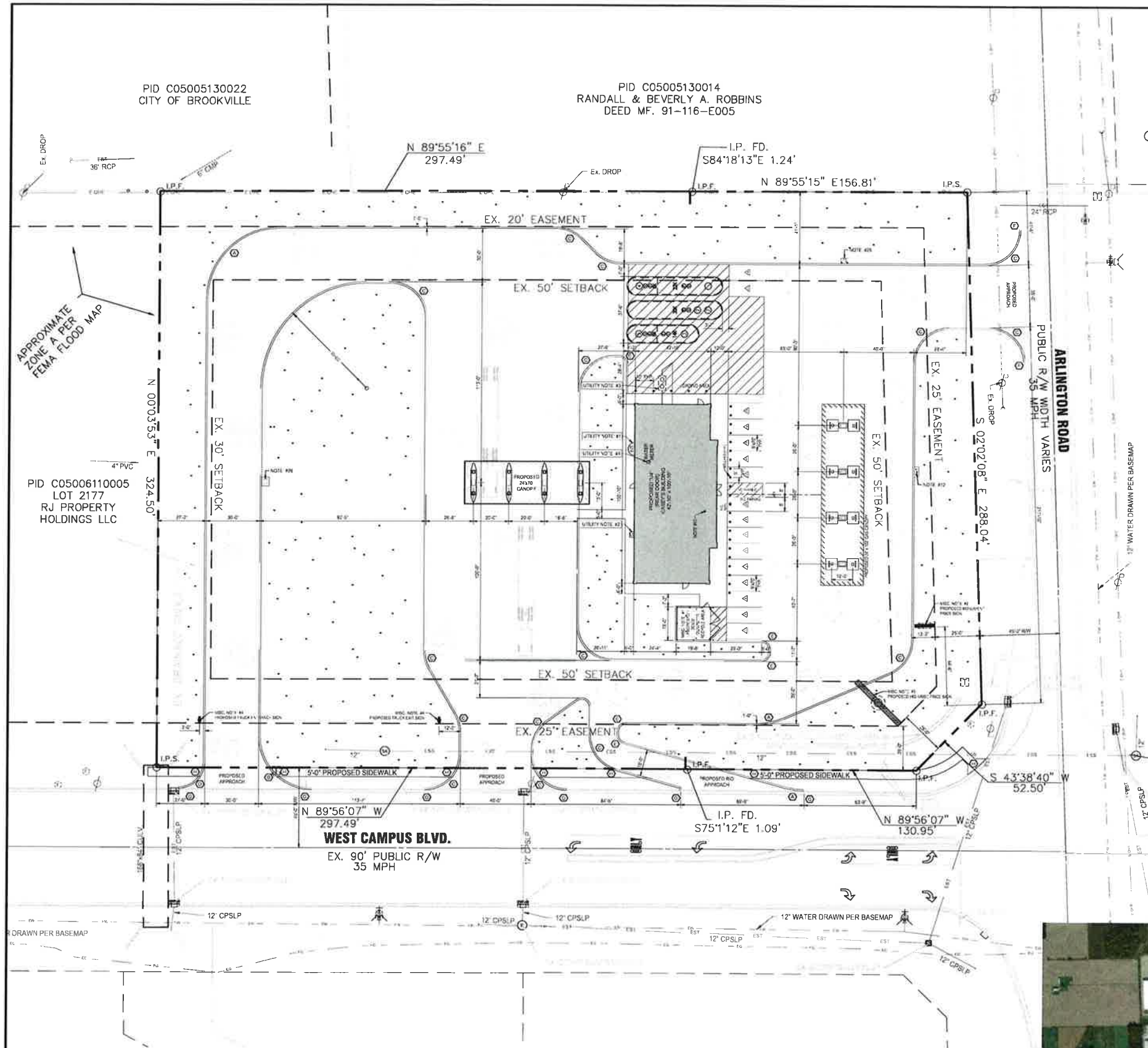
SIGN 5



BROOKEVILLE, OH
HI-RISE SIGN

DRAWN BY:
J. CLARK

DATE:
01-01-23



U.G.S.T. Notes

- 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS
1 - 22,000 GALLON DOUBLE WALL FIBERGLASS TANK
TANK 1 - 14,000 GALLON (DIESEL)
TANK 2 - 8,000 GALLON (DIESEL)
TANK 3 - 8,000 GALLON (E15)
TANK 4 - 8,000 GALLON (E15)
TANK 5 - 8,000 GALLON (DEF)
- FILL WSPILL CONTAINMENT & OVERFILL PROTECTION (TYP.)
- TURBINE ENCLOSURE TYP. CONTAINS SUB-PUMP W/LEAK DETECTION, TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR - REFER TO QF-301 FOR NUMBER OF SUMPS
- VENT WSPILL CONTAINMENT & EXTRACTOR
SUMP SENSOR @ EACH DISPENSER.

General Notes

- RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY CHOICEONE ENGINEERING.

Utility Notes

- UTILITY NOTE #1: ELECTRICAL SERVICE ENTRANCE, REFER TO ARCH & CIVIL PLANS FOR SIZING AND LOCATION.
- UTILITY NOTE #2: GAS SERVICE ENTRANCE, REFER TO ARCH & CIVIL PLANS FOR SIZING AND LOCATION.
- UTILITY NOTE #3: SANITARY SEWER AND BELOW GRADE GREASE INTERCEPTOR, REFER TO ARCH & CIVIL PLANS FOR SIZING AND LOCATION.
-Grease Trap to be procured and installed by Contractor. Grease Trap to be procured from Schier Products, utilize the following: <https://schierproducts.com/stocking-dealers>. Contact Schier Products with any questions or Casey's team member if there is an issue.
- UTILITY NOTE #4: WATER SERVICE ENTRANCE, REFER TO ARCH & CIVIL PLANS FOR SIZING AND LOCATION.

Legal Description:

SITUATED IN THE CITY OF BROOKVILLE, COUNTY OF MONTGOMERY, STATE OF OHIO, AND BEING LOT NUMBER 2175 AND 2176, OF THE CONSECUTIVE LOTS OF THE SAID CITY OF BROOKVILLE, OHIO RECORDS.

PARCEL NOS. C05 00611 0003 & C05 00611 0004

Zoning Information

- ZONED:**
HS HIGHWAY SERVICE
- BUILDING AND CANOPY SETBACKS:**
FRONT (EAST & SOUTH): 50'
SIDE (NORTH & WEST): 30' (50' WHEN ADJ. TO RESIDENTIAL ZONE)
REAR: N/A
- PARKING REQUIRED:**
2 SPACES PER SERVICE STALL, PLUS 1 PER EMPLOYEE.
PLUS 1 PER SERVICE VEHICLE.
ADA PARKING SPACES REQUIRED: 1
TOTAL = 16 SPACES (W/ 1 ADA)
- TOTAL SPACES PROVIDED: 16 SPACES (W/ 1 ADA)

- SPECIAL REQUIREMENTS:**
REMOVE VEGETATION AS NEEDED
LANDSCAPING PLAN/FENCE REQUIRED (NORTH BUFFER)
SITE LIGHTING PLAN REQUIRED
HIGH-RISE PRICE SIGN
MONUMENT PRICE SIGN
KNOX BOX REQUIRED

General Construction Notes

- PETROLEUM:**
- DISPENSED PRODUCTS:
OH, ALL ETHANOL AREA - DSL, E15, E7E, 91E, 93E
 - TANK SETTING DETAILS PAGE QF-301
 - FILL PIPE AND MANHOLE DETAIL PAGE QF-301
 - GILBARCO WIRING PAGE QF-501
 - GAS ISLAND SIZE - 3' x 5' WIDUAL GUARD PIPE
DIESEL BULLET ISLAND - 3' x 22' WIDUAL GUARD PIPE
 - 4 - GAS GILBARCO 700 S DISPENSERS (BLENDED)
2 = NL1 4 NOZZLES & 6 METERS EACH
2 = NL3 6 NOZZLES & 8 METERS EACH
2 = DIESEL GILBARCO 700 S DISPENSERS
1 = NPA 2 NOZZLES TOTAL & 2 METERS EACH
2 = NP3 3 NOZZLES TOTAL & 2 METERS EACH
1 = NP5 1 NOZZLE TOTAL & 0 METER
 - ISLAND DETAILS PAGE AL-501
 - ISLAND CONDUIT DETAIL PAGE E-602
 - DO NOT PLACE PRODUCT PIPING UNDER ISLAND
 - 18" MIN. FROM TANK PIPING TO FINISH SURFACE
 - RUN VENT LINES UP SEPARATE CANOPY COLUMN, VERIFY
 - ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUT-OFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.
- APPROACHES/CONCRETE:**
- DRIVEWAY JOINTS TO BE PACKED & CAULKED
 - CONCRETE DRIVE-TROWELED WITH LIGHT ROOM FINISH
 - CONTROL JOINTS - MIN. 100 sq. ft. - MAX. 125 sq. ft. - 25% DEEP
 - CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 12" REBAR #4
 - APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC.
 - SLOPE MAX. 2% FOR BUILDING SIDEWALK, H.C. PARKING 1:50 ALL DIRECTIONS
 - ALL ACCESSIBLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4" SEPARATION
 - 2% MAX. CROSS-SLOPE IN APPROACH/SIDEWALK AREA
 - 10" ROLL-OVER CURB TYP. - SEE STANDARD CIVIL DETAILS
 - CANOPY FOOTING: SIZE 6'-3" LENGTH x 6'-3" WIDTH x 3'-0" DEPTH.
CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF FC-3000 p.s.i.
CONCRETE REINFORCING: ASTM A-615 GRADE 60.
REBAR CAGE: (8) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM 12" MAXIMUM SPACING.
 - SIGN BASE AND DETAILS PAGE AL-601
- SITE ITEMS:**
- VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
 - IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF.
 - AIR COMPRESSOR BOX - SEE SHEET C-601 SITE DETAILS.
110 VOLT 400-250 AMP. SINGLE PHASE) WITH GROUND.
 - SPECIAL TRUCK TYPE AIR COMPRESSOR - SEE SHEET C-601 SITE DETAILS. 7.5 HP COMPRESSOR AND ENCLOSURE. AIR REELS MOUNTED TO CANOPY COLUMNS ON ENTRANCE SIDE. HOPE PIPING FROM COMPRESSOR TO REELS. SEE SHEET QF-401 FOR DETAILS.
 - JUNGE BIO BLENDING CONTROL PANEL INSTALLED ON 4' x 6' CONCRETE PAD.

Keyed Construction Notes

- NOTICE:** ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF BROOKVILLE APPROVAL AND SPECIFICATIONS.
- (A) PROPOSED 40' RADIUS (F) TIE INTO AND MATCH EXISTING PAVEMENT & FLOW LINE
- (B) PROPOSED 30' RADIUS (G) TIE INTO AND MATCH EXISTING CURB & FLOW LINE
- (C) PROPOSED 20' RADIUS (H) DETECTABLE SIDEWALK MAT. VERIFY WITH CITY.
- (D) PROPOSED 15' RADIUS
- (E) PROPOSED 5' RADIUS

Misc. Notes

- Misc. #1:**
DUMPSTER ENCLOSURE 6' HEIGHT CHAIN LINK W/VINYL SLATES
2'-6" GATES AND 4' SERVICE GATE
- Misc. #2:**
MONUMENT PRICE SIGN - REFER TO SIGN PACKET
- Misc. #3:**
HIGH-RISE PRICE SIGN - REFER TO SIGN PACKET
- Misc. #4:**
DIRECTIONAL SIGNS - REFER TO SIGN PACKET

Legend

- MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- AREA TO BE SOD
- TYP. CONCRETE PAVING OR SIDEWALKS (39,745 SQ. FT.) (PLUS 1,675 SQ. FT. FOR PUBLIC SIDEWALK)
- 8" NON-REINFORCED CONCRETE PAVING (40,662 SQ. FT.) (80,407 TOTAL SQ. FT. CONCRETE TO BE SEALED)

NOTE:
SYMBOL INDICATES EXISTING UTILITY TO EXISTING STRUCTURE TO BE REMOVED OR DISCONNECTED BY APPROPRIATE CONTRACTOR. VERIFY WITH UTILITY COMPANY REPRESENTATIVE.



VICINITY MAP

NTS

Z:\project\Montgomery\Brookville\MOT-BRO-2309CaseysGeneralStore-Brookville\SITE GENERAL NOTES SHEETS.dwg 08-Nov-23 8:48 AM



VICINITY MAP



UNDERGROUND UTILITIES

Contact Two Working Days
Before You Dig



OHIO811, 8-1-1, or 1-800-362-2764
(Non-members must be called directly)

CASEY'S GENERAL STORE #4402

945 ARLINGTON ROAD, BROOKVILLE, OH 45309

CITY OF BROOKVILLE
MONTGOMERY COUNTY, OHIO

INDEX OF SHEETS

TITLE SHEET	C-001
GENERAL NOTES	C-002 - C-003
SITE SURVEY ALTA	C-004
DEMOLITION PLAN	C-100
DIMENSIONING AND PAVEMENT PLAN	C-101
GRADING PLAN	C-201
PAVEMENT ELEVATION PLAN	C-202
UTILITY PLAN	C-301
SWPPP TITLE SHEET	C-401
SWPPP EROSION CONTROL NOTES AND DETAILS	C-402 - C-404
SWPPP EROSION CONTROL SITE PLAN	C-405
GENERAL DETAILS	C-601 - C-607
LANDSCAPING PLAN	C-701

2023 SPECIFICATIONS

THE CONSTRUCTION STANDARDS AND DRAWINGS OF THE CITY OF BROOKVILLE AND THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND GENERAL NOTES LISTED IN THE PLAN, SHALL GOVERN THIS IMPROVEMENT. THE MOST RESTRICTIVE SHALL APPLY.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION A NEW BUILDING AND ASSOCIATED DRIVE AND PARKING FOR THE CASEY'S GENERAL STORE, LOCATED ON THE NW SIDE OF THE INTERSECTION OF W CAMPUS BLVD. AND ARLINGTON ROAD WITHIN THE CITY OF BROOKVILLE. SITE WORK TO INCLUDE STORM SEWER, SANITARY SEWER, WATER, SITE GRADING, PAVEMENT WORK AND BUILDING CONSTRUCTION.



440 E. HOEWISHER ROAD • SIDNEY, OHIO 45365 • 937.497.0200
8956 GLENDALE MILFORD ROAD, SUITE 1 • LOVELAND, OHIO 45140 • 513.239.8554

www.CHOICEONEENGINEERING.com

NOVEMBER 06, 2023


MICHAEL L. SEEGER, P.E.
P.E. - #81748

11/06/2023
DATE



Approved _____
Date _____ AUTHORIZED SIGNATURE



STORE DEVELOPER
CASEY'S GENERAL STORE
SITE DEVELOPMENT MANAGER
ATTN: ROBERT SWEET
(513) 441-7747



CASEY'S GENERAL STORE #4402

REVISIONS:

FILE NAME
TITLE SHEET
DRAWN BY
JCP
CHECKED BY
MLS
PROJECT No.
MOTBRO2309
SHEET NUMBER
C-001

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD 88 (ODOT VRS GEOID 18).

GENERAL NOTES AND DETAILS

ALL CONSTRUCTION METHODS, MATERIALS, AND SPECIFICATIONS SHALL COMPLY WITH THE LATEST VERSION OF CITY OF BROOKVILLE STANDARDS AND SPECIFICATIONS AND/OR THE LATEST VERSION OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARDS AND SPECIFICATIONS (INCLUDING CURRENT SUPPLEMENTAL SPECIFICATIONS 800 AND 832), WHICHEVER IS MORE RESTRICTIVE AS DETERMINED BY CITY OF BROOKVILLE.

UNDERGROUND UTILITIES

THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE AS OBTAINED FROM THE OWNERS OF THE UTILITY AS REQUIRED BY SECTION 153.64 ORC. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE DATA, THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING THEM IN THE FIELD PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THEM. CONTRACTOR TO CONTACT OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION.

NON-MEMBERS MUST BE CALLED DIRECTLY.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CHOICE ONE ENGINEERING CORPORATION MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN-SERVICE OR ABANDONED. CHOICE ONE ENGINEERING CORPORATION FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. CHOICE ONE ENGINEERING CORPORATION HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY OWNERSHIP

LISTED BELOW ARE ALL UTILITIES LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS TOGETHER WITH THEIR RESPECTIVE OWNERS:

STREETS/STORM SEWER/SANITARY SEWER/WATER	PHONE/INTERNET
CITY OF BROOKVILLE UTILITIES SUPERINTENDENT 301 SYCAMORE STREET PO BOX 10 BROOKVILLE, OHIO 45822 (937) 833-2135 ATTN: JOE HAMIEL	FRONTIER COMMUNICATIONS 10 MULBERRY STREET BROOKVILLE, OH 45309 (541) 390-3910 ATTN: CHARLES BERNACCHI
ELECTRIC AES OHIO 1900 DRYDEN RD DISTRIBUTION ENGINEERING AREA 136 DAYTON, OHIO 45439 (937) 331-4521 ATTN: WILLIAM GOURLEY	GAS CENTERPOINT ENERGY 6500 CLYO RD CENTERVILLE, OHIO 45459 (937) 312-0638 ATTN: JEFF PIKE

OHIO UTILITIES PROTECTION SERVICE 2 WORKING DAYS BEFORE YOU DIG CALL TOLL FREE 800-362-2764

UTILITY INTERFERENCE

IF, DURING THE CONSTRUCTION, INTERFERENCE ARISES WITH EXISTING UTILITIES IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND COORDINATE AS NEEDED WITH THE UTILITY COMPANY INVOLVED. ANY AND ALL WORK REQUIRED FOR PRIVATE UTILITIES SHALL BE COORDINATED WITH AND, IF REQUIRED, DONE BY THEIR RESPECTIVE OWNERS, UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY, AT LEAST 7 DAYS BEFORE BREAKING GROUND, ALL PUBLIC SERVICE CORPORATIONS HAVING WIRES, POLES, PIPES, CONDUITS, MANHOLES, OR OTHER STRUCTURES THAT MAY BE AFFECTED BY THIS OPERATION, INCLUDING ALL STRUCTURES WHICH ARE AFFECTED AND NOT SHOWN ON THESE PLANS.

EXISTING TILE HOOKUPS

THE DRAINAGE TILE CURRENTLY CONNECTED TO THE EXISTING STORM SEWER SHALL BE CONNECTED TO THE PROPOSED STORM SEWER. ANY DRAINAGE TILE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. ALL TILE REMOVED, REPLACED AND/OR CONNECTED TO THE STORM SEWER SHALL BE NOTED ON THE RECORD DRAWINGS AND SHALL BE INSPECTED BY CITY OF BROOKVILLE BEFORE THEY ARE COVERED.

ALL FIELD OR STORM DRAINS WHICH ARE ENCOUNTERED DURING CONSTRUCTION SHALL BE PROVIDED WITH UNOBSTRUCTED OUTLETS OR PLUGGED AS APPROVED AND DIRECTED BY CITY OF BROOKVILLE. CONNECTION OF INTERSECTING DRAIN TILES AND THE PROPOSED STORM SEWER SHALL BE THROUGH MANUFACTURED TEES, UNLESS OTHERWISE APPROVED BY CITY OF BROOKVILLE. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTORS OVERALL LUMP SUM BID FOR THE PROJECT.

CROSSINGS AND CONNECTIONS TO EXISTING PIPES AND UTILITIES

WHERE PLANS PROVIDE FOR A PROPOSED CONDUIT TO BE CONNECTED TO, OR CROSS OVER OR UNDER AN EXISTING SEWER OR UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED CONDUIT.

IF IT IS DETERMINED THAT THE ELEVATION OF THE EXISTING CONDUIT, OR EXISTING APPURTENANCE TO BE CONNECTED, DIFFERS FROM THE PLAN ELEVATION OR RESULTS IN A CHANGE IN THE PLAN CONDUIT SLOPE, CITY OF BROOKVILLE SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED CONDUIT WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS.

IF IT IS DETERMINED THAT THE PROPOSED CONDUIT WILL INTERSECT THE EXISTING SEWER OR UNDERGROUND UTILITY IF CONSTRUCTED AS SHOWN ON THE PLAN, CITY OF BROOKVILLE SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED CONDUIT WHICH WOULD BE AFFECTED BY THE INTERFERENCE WITH AN EXISTING FACILITY. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTORS OVERALL LUMP SUM BID FOR THE PROJECT.

MUD

THE TRACKING OR SPILLAGE OF MUD, DIRT, OR DEBRIS UPON PUBLIC STREETS IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR.

EXISTING UTILITY CONFLICT NOTE

IF A CONFLICT ARISES WITH EXISTING UTILITIES, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY TO GET THE CONFLICT RESOLVED.

CAD FILE DISCLAIMER

THE CAD FILE ASSOCIATED WITH THESE CONSTRUCTION PLANS IS A NON-CERTIFIED DOCUMENT. ANY USE OF THE INFORMATION OBTAINED OR DERIVED FROM THE ASSOCIATED CAD FILE WILL BE AT THE RECEIVING PARTY/USER'S RISK. CHOICE ONE ENGINEERING CORP. OFFERS NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION IN THE CAD FILE OR THAT REVISIONS HAVE BEEN ISSUED AFTER THE CAD DRAWING WAS RELEASED. RECEIVING PARTIES/USERS SHALL HOLD HARMLESS TO THE MAXIMUM EXTENT ALLOWED BY LAW CHOICE ONE ENGINEERING CORP. FROM ANY USE OF THE CAD FILE BY THE RECEIVING PARTY/USER. IN ALL CIRCUMSTANCES, AND AT ALL TIMES, THE PUBLISHED PAPER AND/OR PDF DRAWINGS FOR THE PROJECT SHALL SUPERSEDE THE CAD FILES. IN THE CASE OF AN INCONSISTENCY BETWEEN THE PUBLISHED PAPER/PDF DRAWINGS AND THE ASSOCIATED CAD FILE, THE PUBLISHED PAPER/PDF DRAWINGS SHALL GOVERN THE PROJECT AND ALL WORK.

SAFETY

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.

MASONRY COLLAR

A CONCRETE COLLAR SHALL BE PROVIDED WHERE PROPOSED STORM SEWER PIPE IS CONNECTED TO AN EXISTING PIPE. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

DEWATERING

ANY NECESSARY DEWATERING OR PUMPING NECESSARY FOR THE CONSTRUCTION OF ANY ITEMS SHALL BE INCIDENTAL TO THOSE PARTICULAR CONSTRUCTION ITEMS AND SHALL BE INCLUDED IN THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

CLEAN WATER NOTE

ROOF DRAINS, FOUNDATION DRAINS, AND ALL OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SYSTEM ARE PROHIBITED.

SANITARY SEWER/LATERAL NOTE

ALL SANITARY SEWER LINES AND SANITARY LATERALS MUST BE INSTALLED WITH 40 INCHES MINIMUM OF COVER OR BELOW FROST DEPTH WHICHEVER IS GREATER.

STORM SEWER INSTALLATION

THIS WORK CONSISTS OF CONSTRUCTING STORM SEWER. THE CONTRACTOR SHALL PROVIDE ALL TOOLS AND EQUIPMENT REQUIRED FOR INSTALLING THESE ITEMS. THE WORK ALSO INCLUDES FURNISHING ALL MATERIALS, EXCAVATING, BEDDING, LAYING PIPE, JOINTING, BACKFILLING, REMOVAL AND RESTORATION OF DISTURBED FACILITIES AND SURFACES, CURB REPAIR, SIDEWALK REPAIR, PAVEMENT REPAIR (I.E. PAVEMENT IN STREETS, ALLEYS AND DRIVEWAYS), DISPOSAL OF ALL SURPLUS EXCAVATION AND DISCARDED MATERIALS, AND OTHER WORK NECESSARY TO COMPLETE THE ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD LOCATE ALL EXISTING STORM SEWER, AND OTHER UTILITIES, PRIOR TO INSTALLING THE PROPOSED STORM SEWER SYSTEM. THE EXISTING STORM SEWER AND LATERALS SHOWN ON THE PLANS ARE IN THE APPROXIMATE LOCATION AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD LOCATE PROPOSED TIE-INS TO THE EXISTING STORM PRIOR TO ANY STORM SEWER CONSTRUCTION. ALL TIE-INS SHALL BE THROUGH PREMANUFACTURED TEES OR HOLES INSTALLED USING A CORING MACHINE. PIPE MAY BE ANY OF THE PIPE TYPES LISTED BELOW UNLESS OTHERWISE SPECIFIED ON THE PLANS.

TYPES OF PIPE PERMITTED	ODOT MATERIALS NUMBERS
CORRUGATED POLYETHYLENE SMOOTH-LINED PIPE (CPSLP)	707.33
POLYPROPYLENE CORRUGATED DOUBLE WALL PIPE (PCDWP)	707.65
POLYVINYL CHLORIDE SOLID WALL PIPE (SDR-35)	707.45
REINFORCED CONCRETE PIPE	706.02

GENERAL NOTES

1. INSTALL AND TEST ALL UTILITIES PER THE LATEST VERSION OF CITY OF BROOKVILLE STANDARDS.

2. ALL DISTURBED AREAS AND ALL NON-PAVEMENT AREAS SHALL HAVE A MINIMUM OF 6" OF TOP SOIL PLACED AND ARE TO BE SEEDED AND MULCHED PER ODOT ITEM 659.

3. ALL CONCRETE USED FOR HEAVY DUTY PAVEMENT(S) AND STANDARD DUTY PAVEMENT(S) SHALL BE ODOT QC-1P AND REINFORCED WITH CONCRETE FIBERS AS SPECIFIED IN THE PROPOSED PAVEMENT SECTION(S). ALL OTHER CONCRETE (WALKS, CURBS, ETC.) SHALL BE ODOT QC MISC. (CEMENT ONLY - NO POZZOLAN MATERIAL) REINFORCED WITH 3 LBS/CY OF EITHER EUCLID CHEMICAL TUFSTRAND SF, FORTA FERRO FIBRILLATED MACROFIBERS OR APPROVED EQUIVALENT MEETING ASTM C 1116 TYPE 3, MINIMUM 2" LENGTH, ASPECT RATIO 50 TO 90. CONTRACTOR SHALL CONTACT THE FIBER MANUFACTURER'S SUPPLIER 48 HOURS PRIOR TO ORDERING THE FIRST BATCH OF CONCRETE FOR APPROPRIATE MIXING AND FINISHING PROCEDURES.

4. CONTRACTOR TO BE RESPONSIBLE FOR ANY PERMITS OR FEES THAT MAY BE NECESSARY FOR THE COMPLETION OF THE SITE WORK.

5. ALL WORK SHALL CONFORM WITH ALL FEDERAL, STATE, AND LOCAL ADA REGULATIONS AND STANDARDS.

6. ALL ITEMS ON SITE PLAN SHALL BE CONSTRUCTED PER THE LATEST VERSION OF CITY OF BROOKVILLE STANDARDS.

STORM AND SANITARY CONDUITS/STRUCTURES AND RELATED WORK

THIS ITEM OF WORK SHALL CONSIST OF THE WORK AS DESCRIBED IN OHIO DEPARTMENT OF TRANSPORTATION ITEM 611, PIPE CULVERTS, SEWERS, DRAINS, AND DRAINAGE STRUCTURES, EXCEPT AS HEREIN MODIFIED.

THE INSTALLATION OF ALL STORM SEWER, SANITARY SEWER, AND ALL CORRESPONDING STRUCTURES SHALL BE PER MANUFACTURER'S RECOMMENDATIONS OR AS NOTED ON THE PLANS. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN A HIGH STANDARD OF WORK. CONTRACTOR IS RESPONSIBLE TO ENSURE ALL WORK IS PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR AS NOTED ON THE PLANS. CONTRACTOR SHALL ALSO ENSURE THAT ALL ITEMS ARE FULLY AND PROPERLY FUNCTIONAL, AND TO A QUALITY ACCEPTABLE TO THE OWNER.

ALL PIPE CULVERTS, CONDUITS, SEWERS, DRAINS, AND DRAINAGE STRUCTURES (CATCH BASINS, YARD DRAINS, MANHOLES, ETC.) SHALL MEET THE MATERIAL REQUIREMENTS OF THIS ITEM. THE FOLLOWING ITEMS WILL NOT BE REQUIRED UNLESS OTHERWISE NOTED: 1) INSTALLATION PLAN, 2) CONSTRUCTION INSPECTION FORMS, 3) PERFORMANCE INSPECTIONS AND REPORTS, 4) CONDUIT AND DRAINAGE STRUCTURE EVALUATIONS.

THE CONTRACTOR SHALL ENSURE THE CONDUIT BEDDING AND BACKFILL COMPACTION DENSITY MEETS ASTM D698 (98% STANDARD PROCTOR). TESTING MAY BE REQUIRED IF DEEMED NECESSARY BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

MAINTAINING TRAFFIC

MAINTAIN TRAFFIC AS INDICATED IN THE "OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", ALSO THE FOLLOWING REQUIREMENTS SHALL APPLY.

EXCAVATIONS WITHIN PUBLIC RIGHT-OF-WAY LIMITS SHALL BE CLOSED AT TIMES WHEN WORK IS NOT BEING PERFORMED.

LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES EXCEPT DURING THE TIME THAT AN APPROVED CLOSURE AND DETOUR IS ALLOWED BY THE GOVERNING AUTHORITY.

ALL WORK AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH ITEM 614 AND OTHER APPLICABLE PORTIONS OF THE SPECIFICATIONS, AS WELL AS THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING NECESSARY TRAFFIC CONTROL DEVICES AND PAVEMENT REPAIR MATERIALS TO MAINTAIN THE TRAVELED PAVEMENT SAFELY.

NO SHUT DOWN OF ANY OWNER FACILITY DRIVE, ROADWAY OR PARKING LOT WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE OWNER. ALL OWNER ROADWAYS MUST HAVE AT LEAST ONE LANE OPEN AT ALL TIMES. NO STAGING OF TRUCKS OUTSIDE OF CONSTRUCTION LIMITS WILL BE PERMITTED WITHOUT CONSENT FROM THE OWNER.

SUBCONTRACTOR SUPERVISION

THE CONTRACTOR IS REQUIRED TO HAVE SOMEONE ON-SITE TO SUPERVISE THE SUBCONTRACTOR FOR QUALITY CONTROL PURPOSES AND TO PROVIDE ANY NECESSARY ASSISTANCE TO THE SUBCONTRACTOR TO ENSURE QUALITY WORK. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

EXCAVATION AND EMBANKMENT

TOPSOIL SHALL BE REMOVED FROM ALL DISTURBED AREAS AND ALL AREAS TO BE EXCAVATED OR EMBANKED. A MINIMUM OF 6" OF TOPSOIL SHALL BE FINE GRADED ON ALL DISTURBED AREAS.

ALL EMBANKMENT SHALL BE COMPACTED TO A MINIMUM OF 100% STANDARD PROCTOR OR AS DETERMINED BY THE OWNER. TESTING MAY BE REQUIRED BY THE OWNER.

SAWCUT PAVEMENT JOINTS

MORE THAN ONE SAWCUT MAY BE NECESSARY TO ENSURE A CLEAN CUT. JUST PRIOR TO ASPHALT OR CONCRETE PLACEMENT, ASPHALT MATERIAL SHALL BE PLACED ON THE VERTICAL FACE OF SAWCUT JOINTS PRIOR TO PAVING AS PER 401.14. AFTER THE ASPHALT WORK IS COMPLETED, THE TRANSVERSE JOINTS SHALL BE SEALED WITH LIQUID ASPHALT.

WATER LINE CROSSING SEPARATION

CONTRACTOR SHALL LOWER/DIP ANY EXISTING OR PROPOSED WATER LINES AS NEEDED TO OBTAIN AN 18" MINIMUM SEPARATION DISTANCE FROM THE WATER LINE TO ANY STORM OR SANITARY SEWER. WATER LINE SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY SEWERS. WHENEVER A SANITARY OR STORM SEWER AND WATER LINE MUST CROSS, THE SEWER AND WATER SHALL BE LAID AT SUCH AN ELEVATION THAT THERE IS AT LEAST 18" OF SEPARATION BETWEEN THE OUTSIDE WALLS OF THE TWO PIPES. ALSO ONE FULL LENGTH OF WATERLINE SHALL BE LOCATED SO THE JOINTS ARE AS FAR FROM THE STORM AND SANITARY SEWERS AS POSSIBLE. IF IT IS ABSOLUTELY IMPOSSIBLE TO MAINTAIN THE 18" VERTICAL SEPARATION, THE SEWER SHALL BE CONSTRUCTED OF WATER LINE TYPE MATERIALS WHICH WOULD BE ABLE TO WITHSTAND A 100 PSI PRESSURE TEST (NOTE: DO NOT PRESSURE TEST SEWER TO 100 PSI). THESE REQUIREMENTS WILL EXTEND FOR THE DISTANCE OF THE ENTIRE SPAN. NO CHANGE OF MATERIALS ARE ALLOWED MID-SPAN. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

PAVEMENT MARKINGS

ALL PAVEMENT MARKINGS SHALL BE PER ODOT ITEM 640 AND 642. ALL PAVEMENT MARKINGS TO BE TYPE 1, UNLESS APPLICATION IS REQUIRED WHEN AIR AND PAVEMENT TEMPERATURES ARE BETWEEN 35 °F AND 50 °F, THEN OBTAIN APPROVAL FROM THE OWNER AND APPLY ONLY PRE-QUALIFIED TYPE 1A COLD WEATHER TRAFFIC PAINT MATERIALS PER ITEM 642 AND 740.

ALL MARKING LAYOUT AND COLOR SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

DOWNSPOUTS

THE CONTRACTOR SHALL CONNECT ANY DOWNSPOUTS AS SHOWN ON THE SITE PLAN OR TO THE CLOSEST STORM PIPING OR CATCH BASINS USING CPSLP OR PVC SDR-35 SEWER OR APPROVED EQUAL.



Choice One Engineering

SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

CASEY'S GENERAL STORE #4402
CITY OF BROOKVILLE

GENERAL NOTES

REVISIONS:

FILE NAME	GNA
DRAWN BY	JCP
CHECKED BY	MLS
PROJECT NO.	MOTBR02309
DATE	11-06-2023
SHEET NUMBER	C-002

UTILITIES

CONTRACTOR SHALL INSTALL AND/OR COORDINATE THE INSTALLATION OF GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, FIBER OPTIC, ETC.,. CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES PRIOR TO INSTALLATION OF ANY FACILITIES. ALL UTILITIES SHALL BE INSTALLED PER EACH PARTICULAR UTILITY COMPANY'S STANDARDS AND PROCEDURES. CONTRACTOR TO VERIFY ACTUAL SIZES, LOCATIONS (POINTS OF ENTRY INTO THE BUILDING) AND INVERTS OF ALL UTILITIES TYING INTO THE BUILDING WITH ALL ARCHITECT PLANS (BUILDING, PLUMBING, ELECTRICAL, ETC.) BEFORE CONSTRUCTION.

ASPHALT PAVEMENT REPLACEMENT NOTE

ANY EXISTING PAVEMENT THAT IS TO BE REMOVED SHALL BE SAWCUT FULL DEPTH AND RESTORED TO MATCH THE EXISTING PAVEMENT CROSS SECTION UNLESS OTHERWISE NOTED IN THE PLANS.

ASPHALT

ALL ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS SHALL APPLY TO THIS PROJECT EXCEPT FOR ODOT ITEM 401.20 ASPHALT BINDER PRICE ADJUSTMENT (ASPHALT CONCRETE BID ITEMS ARE NOT ELIGIBLE FOR ANY ASPHALT BINDER PRICE ADJUSTMENT).

ALL ASPHALT DELIVERED SHALL BE ACCOMPANIED WITH A LOAD TICKET AS PER ITEM 401.21.

REVIEW OF DRAINAGE FACILITIES

BEFORE FINAL ACCEPTANCE BY THE OWNER, REPRESENTATIVES OF THE OWNER, AND THE CONTRACTOR, SHALL MAKE AN INSPECTION OF ALL EXISTING SEWERS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. ALL EXISTING SEWERS INSPECTED BY THE ABOVE MENTIONED PARTIES SHALL BE MAINTAINED AND LEFT IN A CONDITION REASONABLY COMPARABLE TO PRE-EXISTING CONDITION OF THE SEWER, ANY CHANGE IN THE CONDITION RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE CORRECTED BY THE CONTRACTOR TO THE SATISFACTION OF CITY OF BROOKVILLE AND/OR OWNER.

ALL NEW CONDUITS, UNDERDRAINS (INCLUDING THE STONE BACKFILL ABOVE THE UNDERDRAIN PIPING), INLETS, CATCH BASINS, MANHOLES, SWALES/DITCHES, AND DETENTION/RETENTION BASINS CONSTRUCTED AS A PART OF THE PROJECT SHALL BE FREE OF ALL FOREIGN MATTER (INCLUDING SEDIMENT) AND IN A CLEAN CONDITION AND FULLY AND PROPERLY FUNCTIONAL BEFORE THE PROJECT WILL BE ACCEPTED BY THE OWNER.

CLEARING AND GRUBBING

CONTRACTOR TO CLEAR THE AREA AS SHOWN ON THE PLANS AND/OR AS NEEDED TO WORK ON THIS PROJECT. UNLESS STATED ELSEWHERE IN THE PLANS, CLEARING AND GRUBBING IS TO BE KEPT TO A MINIMUM IN ORDER TO PRESERVE THE WOODED AREAS.

MODIFICATIONS

ANY MODIFICATIONS TO THE SPECIFICATIONS OR CHANGES TO THE WORK AS SHOWN ON THE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE OWNER.

RESTORATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DISTURBED AND/OR DAMAGED AREAS, INCLUDING PAVEMENT, TO CONDITIONS EQUAL TO OR BETTER THAN CONDITIONS PRIOR TO CONSTRUCTION OR TO THE SATISFACTION OF THE OWNER.

MISCELLANEOUS

THE INTENT OF THESE DRAWINGS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

IN THE CASE OF AN INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT, THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE OWNER'S REPRESENTATIVE'S INTERPRETATION.

CONTRACTORS SHALL VERIFY ALL GRADES, ELEVATIONS, AND EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR'S LUMP SUM BID PRICE SHALL INCLUDE ALL ITEMS AND OPERATIONS NEEDED, REQUIRED AND NECESSARY FOR THE PROPER EXECUTION OF THE PROJECT AND TO COMPLETE ALL WORK.

GRAFFITI AND VANDALISM

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ANY CONCRETE WORK OR OTHER ITEMS UNDER THIS CONTRACT WHICH IS DEEMED UNACCEPTABLE BY THE OWNER DUE TO GRAFFITI OR VANDALISM DAMAGE.

OWNER COORDINATION NOTES

THE CONTRACTOR SHALL COORDINATE THE PROPOSED WORK WITH THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK ON SITE. IF THE CONTRACTOR IS TO ENGAGE IN ANY OPERATIONS THAT AFFECT THE EXISTING FACILITY OPERATIONS, THE CONTRACTOR SHALL COORDINATE THE SCHEDULING OF SUCH ACTIVITIES WITH THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY SUCH OPERATIONS OR ACTIVITIES.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPORT, BRACING, AND OTHER DEVICES AS MAY BE REQUIRED OR AS DIRECTED BY OWNER'S REPRESENTATIVE OR THE ENGINEER TO PROTECT THE SAFETY OF THE PUBLIC, ADJACENT STRUCTURES, ROADWAY AND/OR UTILITIES. ALL WORK TO BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.

GENERAL NOTES FOR CIVIL WORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND IS TO INCLUDE SUCH COSTS AS A PART OF THE LUMP SUM PRICE ON THE PROJECT.

2. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE APPROPRIATE UNDERGROUND UTILITY MARKING SERVICE PRIOR TO THE START OF ANY CONSTRUCTION IN ORDER TO AVOID CONFLICTS WITH EXISTING UTILITIES. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE OWNER PRIOR TO THE START OF ANY WORK THAT WOULD BE IN CONFLICT WITH THE UTILITIES.

3. THE CONTRACTOR IS TO VISIT AND INVESTIGATE THE PROJECT SITE, PRIOR TO BIDDING, IN ORDER TO DETERMINE THE EXISTING GROUND AND SITE CONDITIONS. FOR SOIL TYPE AND GROUND WATER TABLE, THE CONTRACTOR IS ENCOURAGED TO UTILIZE ANY AVAILABLE DATA TO ESTIMATE GROUND CONDITIONS. SHOULD THE BIDDING CONTRACTOR REQUIRE ADDITIONAL TEST HOLES PRIOR TO BIDDING IN ORDER TO DETERMINE OR VALIDATE GROUND CONDITIONS, THIS CAN BE COMPLETED AT THE DISCRETION OF THE OWNER. NO TEST HOLES ARE TO BE DUG WITHOUT CONTACTING THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND WITHOUT RECEIVING WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE TO DO SO.

4. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS WITH REGARD TO EXCAVATION, SAFETY, QUALITY AND WORK PROGRESS. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THESE THROUGHOUT CONSTRUCTION OPERATIONS.

5. THE LOCATION OF MATERIALS STORED ON SITE MUST RECEIVE THE APPROVAL OF THE OWNER, IN GENERAL, MATERIALS SHOULD BE STORED SO AS TO MINIMIZE THE INCONVENIENCE TO THE OWNER.

6. IF EXCAVATED MATERIALS ARE FOUND TO BE CONTAMINATED, REMEDIATION WILL BE AT THE OWNER'S EXPENSE PRIOR TO REMOVAL FROM THE SITE OR DISPOSAL ON-SITE BY THE CONTRACTOR. THIS PROCESS WILL BE COORDINATED BETWEEN THE OWNER AND CONTRACTOR.

7. TRENCH EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH THE BID SPECIFICATIONS AND IN ACCORDANCE WITH ALL APPLICABLE OSHA RULES AND REGULATIONS. IN ADDITION, THE OWNER MAY HAVE ADDITIONAL REQUIREMENTS FOR EXCAVATION AND TRENCHING ON OWNER PROPERTY THAT MAY BE MORE STRINGENT THAN CURRENT LOCAL OR OSHA REQUIREMENTS. IN THIS CASE, THE OWNER'S REQUIREMENTS ARE TO BE FOLLOWED UNLESS THIS ACTION WOULD BE CONSIDERED NON-COMPLIANT WITH CURRENT GOVERNING CODES OR REGULATIONS AS DEFINED BY LOCAL OR GOVERNING AUTHORITIES. WHERE A NON-COMPLIANCE ISSUE IS NOTED, THE CONTRACTOR IS TO MAKE THE OWNER AND ENGINEER AWARE OF THE GOVERNING CODE.

8. THE CONTRACTOR WILL BE RESPONSIBLE TO REPAIR, REPLACE, AND/OR RECONNECT ANY EXISTING DRAINAGE TILES, NOT SHOWN ON THE PLANS, WHICH CROSS THROUGH THE EXCAVATED TRENCH. ANY DRAINAGE TILES ENCOUNTERED ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND A MEASUREMENT TAKEN FROM THE NEAREST MANHOLE OR INLET STRUCTURE TO THE CENTERLINE OF THE TILE. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AS PART OF THE RECORD DRAWINGS.

9. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRS TO ANY UTILITY LINE(S) THAT THE CONTRACTOR DAMAGES UNLESS OTHERWISE CLEARLY THE RESPONSIBILITY OF THE UTILITY COMPANY.

10. THE CONTRACTOR WILL REPLACE ALL DAMAGED OR REMOVED DRIVES AND PAVEMENT WITH THE REQUIRED THICKNESS SHOWN ON THE PLANS OR MATCH EXISTING IF GREATER.

11. ALL DISTURBED LAWN AREAS SHALL BE GRADED TO DRAIN TO THE NEAREST INLET STRUCTURE.

12. CONTRACTOR SHALL USE PROPER EROSION CONTROL TECHNIQUES TO MAINTAIN GRADE PRIOR TO SEEDING.

13. CONTRACTOR TO REFER TO ODOT SPECIFICATION, ITEM 659 FOR SEEDING AND MULCHING UNLESS OTHERWISE SPECIFIED. CONTRACTOR WILL NOT SEED ANY AREA UNTIL OWNER HAS INSPECTED FINAL TOPSOIL GRADING.

14. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL FENCES, LAWN DECORATIONS, TREES, SHRUBS, PLANTING, VEGETATION ETC. WHICH IS DAMAGED, DISTURBED OR REMOVED DURING CONSTRUCTION.

ITEM 659 SEEDING AND MULCHING, CLASS 1 (LAWN MIXTURE), AS PER PLAN

THIS ITEM OF WORK SHALL CONSIST OF THE WORK AS DESCRIBED IN OHIO DEPARTMENT OF TRANSPORTATION ITEM 659, SEEDING AND MULCHING, EXCEPT AS HEREIN MODIFIED.

ALL DISTURBED AREAS OR AREAS DESIGNATED FOR SEEDING SHALL BE GRADED AND SEEDED AND SHALL HAVE A MINIMUM OF 6" OF TOPSOIL OVER THE ENTIRE AREA. TESTING THE PH OF ANY EXISTING OR IMPORTED TOPSOIL PER ODOT 659.02 SHALL BE WAIVED. THE AREA SHALL BE HAND-RAKED AND DRESSED READY FOR SEEDING. NO STONE OVER 1" IN SIZE PERMITTED IN THE TOP 6".

SEEDING AND MULCHING SHALL BE APPLIED TO ALL AREAS OF EXPOSED SOIL.

IT'S THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE THE REQUIRED GERMINATION RATES AND ENSURE THE GRASS IS ESTABLISHED TO THE SATISFACTION OF THE OWNER WHICH MAY REQUIRE WATERING, REGRADING/ADDING TOPSOIL AND RESEEDING. ANY AREAS THAT HAVE ERODED OR WHERE NEW GRASS DID NOT GERMINATE SHALL BE ADDRESSED BY THE CONTRACTOR UNTIL THE AREAS ARE STABILIZED, SHAPED, AND DRAINED, AS INDICATED IN THE PLANS.

ANY DISTURBED AREA, OUTSIDE OF THE PROJECT WORK LIMITS, CAUSED BY THE CONTRACTOR'S WORK, SHALL BE RESTORED TO THE SATISFACTION OF THE PROPERTY OWNER AND PROJECT OWNER'S REPRESENTATIVE, AT THE CONTRACTOR'S SOLE EXPENSE. THIS ITEM INCLUDES: TOPSOIL, SEEDING, MULCHING, COMMERCIAL FERTILIZER, WATER, AND REPAIR SEEDING AND MULCHING.

PAYMENT FOR ITEM 659 SEEDING AND MULCHING, CLASS 1 (LAWN MIXTURE), AS PER PLAN, FOR ALL ABOVE OPERATIONS, SHALL BE INCLUDED IN THE LUMP SUM BID PRICE AND SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED TO COMPLETE THIS ITEM OF WORK.

QUANTITIES SUMMARY

ITEM	UNIT	QTY.
6" CONCRETE PAVEMENT – ON-SITE	SQ. FT.	28,468
8" REINFORCED CONC. PVMT-ON-SITE	SQ. FT.	3,183
8" NON-REINFORCED CONC. PVMT-ON-SITE	SQ. FT.	39,369
CONCRETE CURB – ON-SITE	LIN. FT.	2,100
CONCRETE CURB – APPROACHES	LIN. FT.	273
SIDEWALK, NOT ADJACENT TO STORE	SQ. FT.	2003
DETENTION SYSTEM – ADS STORMTECH	CU. FT.	0
STORMWATER TREATMENT DEVICES	EACH	0
WATER MAIN	LIN. FT.	0
SEWER MAIN	LIN. FT.	0
SEWER FORCEMAIN-DIRECTIONAL BORE,1-1/2"	LIN. FT.	0
SEWER SERVICE – DIRECT BURY, 6" PVC	LIN. FT.	394
WATER SERVICE – DIRECT BURY, 2" HDPE	LIN. FT.	284
STRUCTURES – CATCH BASINS	EACH	11
STRUCTURES – TYPE C STORM MANHOLES	EACH	0
STRUCTURES – SANITARY GRINDER PUMP	EACH	0
EARTHWORK – CUT & HAUL	CU. YD.	0
EARTHWORK – CUT & RESPBREAD	CU. YD.	6,623
EARTHWORK – IMPORT & PLACE	CU. YD.	5
FENCING	LIN. FT.	0
SOD AREA	SQ. FT.	5,819
SEED AREA	SQ. FT.	41,370
ASPHALT PAVEMENT DEMOLITION	SQ. FT.	0
GRAVEL PAVEMENT DEMOLITION	SQ. FT.	0
BUILDING DEMOLITION	SQ. FT.	0
RETAINING WALL	VERT. SQ. FT.	0

CONTRACTOR TO PROVIDE A COMPLETE PROJECT PER THE CONSTRUCTION DOCUMENTS, QUANTITIES PROVIDED AS PART OF THIS SUMMARY ARE FOR REFERENCE PURPOSES ONLY AND ARE NOT A BASIS FOR CHANGE ORDER IF ADDITIONAL QUANTITY IS INSTALLED AS PART OF THE ORIGINAL BID DOCUMENTS.

ITEMS IN THE ABOVE TABLE IS A SAMPLE LISTING AND MAY INCLUDE MORE ITEMS DEPENDING ON THE PROJECT.



SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 913.239.8554
www.CHOICEONEENGINEERING.com

CASEY'S GENERAL STORE #4402
CITY OF BROOKVILLE
GENERAL NOTES

REVISIONS:

FILE NAME
GNB

DRAWN BY
JCP

CHECKED BY
MLS

PROJECT No.
MOTBR02309

DATE
11-06-2023

SHEET NUMBER

C-003

- *I.P.S.* 5/8" X 30" HLBAR
W/CAP SET
- *I.P.F.* IRON PIN FOUND
- *M.H.S.* MAG NAIL SET
- *M.N.F.* MAG NAIL FOUND
- ⌒ EXISTING UTILITY POLE
- ⌒ EXISTING LIGHT POLE
- C EXISTING GUY ANCHOR
- Y EXISTING FIRE HYDRANT
- ⌒ EXISTING WATER VALVE
- ⌒ EXISTING WATER FAUCET
- W — EXISTING WATER MAIN
- ⊗ EXISTING SANITARY CLEAN OUT
- ⊗ EXISTING SANITARY MANHOLE
- ⊗ EXISTING ROUND CATCH BASIN
- ⊗ EXISTING CATCH BASIN
- ⊗ EXISTING STORM MANHOLE
- ⊗ EXISTING DOWNSPOUT

 EXISTING ELECTRICAL WANS, PAD
 EXISTING ELECTRIC RISER
 EXISTING ELECTRIC MANHOLE
 EXISTING FICTRIC METER
 EXISTING ELECTRIC LINE
 EXISTING OVERHEAD FICTRIC LINES
 EXISTING TELEPHONE LINE
 EXISTING TELEPHONE METER
 EXISTING CABLE RISER
 EXISTING UG TELEPHONE LINE
 EXISTING UG CABLE TV LINE
 EXISTING GAS REGULATOR
 EXISTING GAS LINE
 EXISTING GAS METER
 EXISTING GAS VALVE
 EXISTING FENCE
 CONIFEROUS SHRUBS
 DECIDUOUS TREE

BLDG HEIGHT=35'
FRONT YARD SETBACK=50'
SIDE YARD SETBACK= 30'
REAR YARD SETBACK=50'

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 8, 9, 11A, 13, 14, AND 16 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JUNE 26, 2023.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CHOICE ONE ENGINEERING MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. CHOICE ONE ENGINEERING FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH CHOICE ONE ENGINEERING DID LOCATE AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CHOICE ONE ENGINEERING HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

RJ PROPERTY HOLDINGS LLC
MF DEED 00-00796B003
CI- GENERAL COMMERCIAL

ELECTRIC:
AES
WILLIAM GOURLEY 937-331-4521

CENTERPOINT ENERGY
JEFF PIKE 937-312-0638

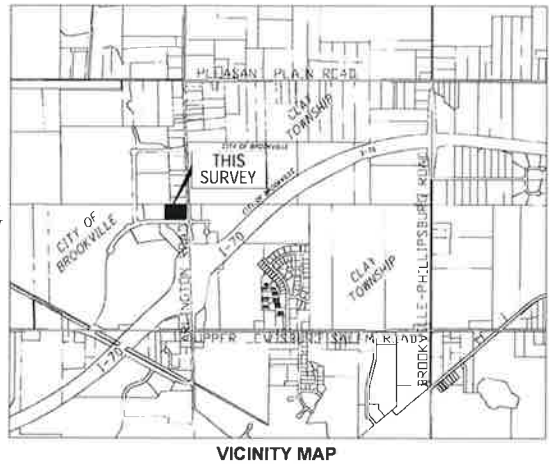
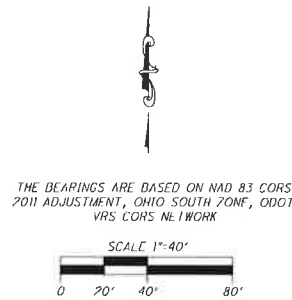
CITY OF BROOKVILLE
JOE HAMIEL 9373569140

FRONTIER
CHARLES BERNACCHI 541-390-3910

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS IN:
ZONE X-AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL
CHANCE FLOODPLAIN.

PANEL NO. 39113C0106E
EFFECTIVE DATE: JANUARY 6, 2005

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



SITUATED IN THE CITY OF BROOKVILLE, COUNTY OF MONTGOMERY, STATE OF OHIO, AND BEING LOT NUMBER 2175 AND 2176, OF THE CONSECUTIVE LOTS OF THE SAID CITY OF BROOKVILLE, OHIO RECORDS.

PARCEL NOS. C05 00611 0003 & C05 00611 0004

AMERICAN LAND TITLE COMMITMENT NO. 2023-1085-1
EFFECTIVE DATE JULY 7, 2023 AT 6:59 A.M.

7. BUILDING LINES, EASEMENTS, COVENANTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF BROOKVILLE-RETAIL & INDUSTRIAL CAMPUS AS RECORDED AT PLAT BOOK "180", PAGE 19, MONTGOMERY COUNTY, OHIO RECORDS (EASEMENTS AS SHOWN ON SURVEY)

8. BUILDING LINES, EASEMENTS, COVENANTS AND RESTRICTIONS AS SHOWN ON PLAT OF BROOKVILLE-RETAIL & INDUSTRIAL CAMPUS SECTION ONE AS RECORDED AT PLAT BOOK 180, PAGE 29 AND RECORDED IN PLAT BOOK 180, PAGE 35, MONTGOMERY COUNTY, OHIO RECORDS.

9. AGREEMENT FOR EASEMENT AND RIGHT OF WAY AS RECORDED IN MICROFICHE 77-161 A02, MONTGOMERY COUNTY, OHIO RECORDS. (DOES NOT TOUCH PROPERTY)

ITEM 16: THERE IS NO OBSERVABLE EVIDENCE OF ANY EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

VACANT SITE - 0 PARKING SPACES DESIGNATED

-NO BUILDINGS OBSERVED ONSITE

-THE PROPERTY ARE CONTIGUOUS TO ADJOINING LAND ALONG THE COMMON BOUNDARY LINES, WITH NO GAPS, GORES, OR OVERLAPS.

-POSSIBLE ENCROACHMENTS ARE AS SHOWN ON THE SURVEY.

-LEGAL DESCRIPTION PROVIDED IN THE TITLE COMMITMENT IS NOT THE PROPERTY SURVEYED FOR THIS PROJECT. SURVEY WILL BE UPDATED WHEN WE ARE ISSUED A NEW COMMITMENT.

BENCHMARK #3 ELEV: 1028.70 PT.#: 71598
BOLT AT THE TIP OF THE ARROW ON FH EAST OF THE CREEK
CROSSING ON W CAMPUS BLVD.

BENCHMARK #4 ELEV: 1031.24 PT.#: 71857
BOLT AT THE TIP OF THE ARROW ON FH SOUTH OF THE
POWER LINES CROSSING THE SITE ON THE EAST SIDE OF
ARLINGTON RD.

Allen J Bertke
ALLEN J. BERTKE, P.S. #8629

7-26-2023
DATE



REVISIONS:

FILE NAME
MOTBR02309

DRAWN BY
AJB

CHECKED BY
WDG

PROJECT No.
MOTBR02309

DATE
7-26-2023

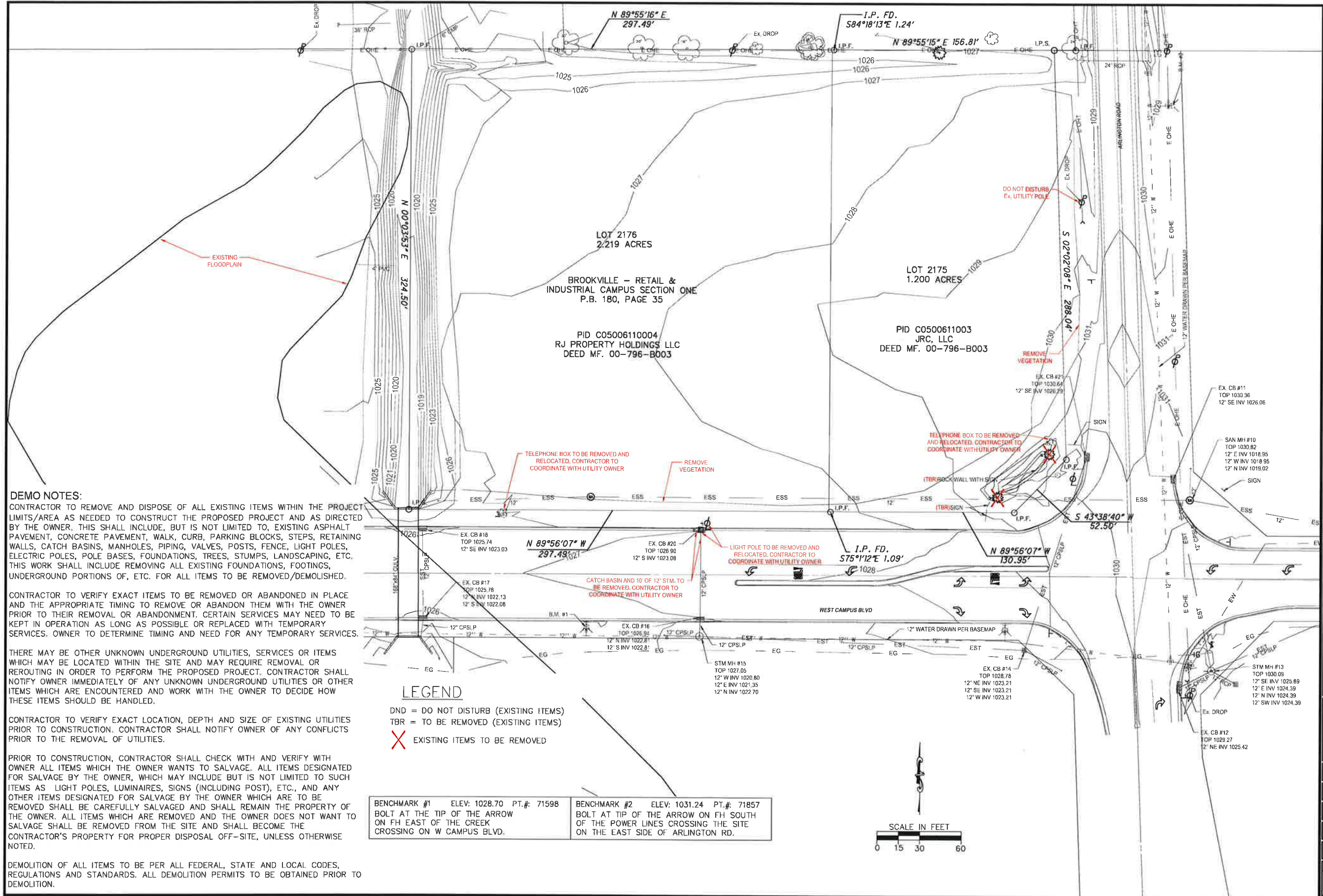
SHEET NUMBER

C-004

SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554

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**ALTA/NSPS LAND TITLE SURVEY
945 ARLINGTON ROAD
CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO**



DEMO NOTES:
CONTRACTOR TO REMOVE AND DISPOSE OF ALL EXISTING ITEMS WITHIN THE PROJECT LIMITS/AREA AS NEEDED TO CONSTRUCT THE PROPOSED PROJECT AND AS DIRECTED BY THE OWNER. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, EXISTING ASPHALT PAVEMENT, CONCRETE PAVEMENT, WALK, CURB, PARKING BLOCKS, STEPS, RETAINING WALLS, CATCH BASINS, MANHOLES, PIPING, VALVES, POSTS, FENCE, LIGHT POLES, ELECTRIC POLES, POLE BASES, FOUNDATIONS, TREES, STUMPS, LANDSCAPING, ETC. THIS WORK SHALL INCLUDE REMOVING ALL EXISTING FOUNDATIONS, FOOTINGS, UNDERGROUND PORTIONS OF, ETC. FOR ALL ITEMS TO BE REMOVED/DEMOLISHED.

CONTRACTOR TO VERIFY EXACT ITEMS TO BE REMOVED OR ABANDONED IN PLACE AND THE APPROPRIATE TIMING TO REMOVE OR ABANDON THEM WITH THE OWNER PRIOR TO THEIR REMOVAL OR ABANDONMENT. CERTAIN SERVICES MAY NEED TO BE KEPT IN OPERATION AS LONG AS POSSIBLE OR REPLACED WITH TEMPORARY SERVICES. OWNER TO DETERMINE TIMING AND NEED FOR ANY TEMPORARY SERVICES.

THERE MAY BE OTHER UNKNOWN UNDERGROUND UTILITIES, SERVICES OR ITEMS WHICH MAY BE LOCATED WITHIN THE SITE AND MAY REQUIRE REMOVAL OR REROUTING IN ORDER TO PERFORM THE PROPOSED PROJECT. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY UNKNOWN UNDERGROUND UTILITIES OR OTHER ITEMS WHICH ARE ENCOUNTERED AND WORK WITH THE OWNER TO DECIDE HOW THESE ITEMS SHOULD BE HANDLED.

CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE REMOVAL OF UTILITIES.

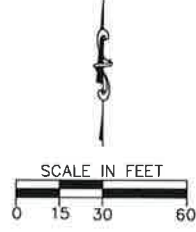
PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CHECK WITH AND VERIFY WITH OWNER ALL ITEMS WHICH THE OWNER WANTS TO SALVAGE. ALL ITEMS DESIGNATED FOR SALVAGE BY THE OWNER, WHICH MAY INCLUDE BUT IS NOT LIMITED TO SUCH ITEMS AS LIGHT POLES, LUMINAIRES, SIGNS (INCLUDING POST), ETC., AND ANY OTHER ITEMS DESIGNATED FOR SALVAGE BY THE OWNER WHICH ARE TO BE REMOVED SHALL BE CAREFULLY SALVAGED AND SHALL REMAIN THE PROPERTY OF THE OWNER. ALL ITEMS WHICH ARE REMOVED AND THE OWNER DOES NOT WANT TO SALVAGE SHALL BE REMOVED FROM THE SITE AND SHALL BECOME THE CONTRACTOR'S PROPERTY FOR PROPER DISPOSAL OFF-SITE, UNLESS OTHERWISE NOTED.

DEMOLITION OF ALL ITEMS TO BE PER ALL FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND STANDARDS. ALL DEMOLITION PERMITS TO BE OBTAINED PRIOR TO DEMOLITION.

LEGEND

- DND = DO NOT DISTURB (EXISTING ITEMS)
- TBR = TO BE REMOVED (EXISTING ITEMS)
- X EXISTING ITEMS TO BE REMOVED

BENCHMARK #1	ELEV: 1028.70	PT.#: 71598	BENCHMARK #2	ELEV: 1031.24	PT.#: 71857
BOLT AT THE TIP OF THE ARROW ON FH EAST OF THE CREEK CROSSING ON W CAMPUS BLVD.			BOLT AT TIP OF THE ARROW ON FH SOUTH OF THE POWER LINES CROSSING THE SITE ON THE EAST SIDE OF ARLINGTON RD.		





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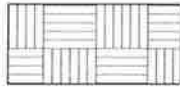
CASEY'S GENERAL STORE #4402
CITY OF BROOKVILLE
DEMOLITION PLAN

REVISIONS:

FILE NAME	DEMOLITION
DRAWN BY	JCP
CHECKED BY	MLS
PROJECT No.	MOTBRO2309
DATE	11-06-2023
SHEET NUMBER	C-100

**STANDARD DUTY CONCRETE PAVEMENT**

ITEM 452 - 6" NON-REINFORCED CONCRETE PAVEMENT (ODOT QC-1P) WITH 3 LBS/CY OF EITHER EUCLID CHEMICAL TUFSTRAND SF, FORTA FERRO FIBRILLATED MACROFIBERS OR APPROVED EQUIVALENT MEETING ASTM C 1116 TYPE 3, MINIMUM 2" LENGTH, ASPECT RATIO 50 TO 90, CONTRACTOR SHALL CONTACT THE FIBER MANUFACTURER'S SUPPLIER 48 HOURS PRIOR TO ORDERING THE FIRST BATCH OF CONCRETE FOR APPROPRIATE MIXING AND FINISHING PROCEDURES ON, SEE DETAIL 2 ON SHEET C-601.
ITEM 304 - 6" AGGREGATE BASE ON
ITEM 204 - SUBGRADE COMPACTION

**HEAVY DUTY CONCRETE PAVEMENT**

SEE DETAIL 2 ON SHEET C-601 FOR PAVEMENT COMPOSITION

**HEAVY DUTY NON-REINFORCED CONCRETE PAVEMENT**

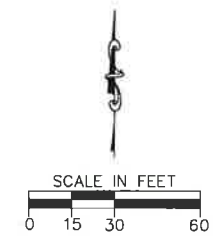
SEE DETAIL 2 ON SHEET C-601 FOR PAVEMENT COMPOSITION

**REMOVE AND REPAIR PAVEMENT, IN KIND****CONCRETE PAVEMENT DRIVE APPROACH**

ITEM 452 - 7" NON-REINFORCED CONCRETE PAVEMENT WITH 3 LBS/CY OF EITHER EUCLID CHEMICAL TUFSTRAND SF, FORTA FERRO FIBRILLATED MACROFIBERS OR APPROVED EQUIVALENT MEETING ASTM C 1116 TYPE 3, MINIMUM 2" LENGTH, ASPECT RATIO 50 TO 90, CONTRACTOR SHALL CONTACT THE FIBER MANUFACTURER'S SUPPLIER 48 HOURS PRIOR TO ORDERING THE FIRST BATCH OF CONCRETE FOR APPROPRIATE MIXING AND FINISHING PROCEDURES ON
ITEM 304 - 6" AGGREGATE BASE ON
ITEM 204 - SUBGRADE COMPACTION

**CONCRETE SIDEWALK**

SEE DETAIL 1 ON SHEET C-601 FOR COMPOSITION

**PROPOSED BUILDING****PAVEMENT STRIPING NOTES:**

ANY PROPOSED PAVEMENT MARKING SHALL BE STRIPED AS PART OF THIS WORK.

ALL PAVEMENT MARKING LINES SHALL BE WHITE OR YELLOW (DO NOT REQUIRE REFLECTOR BEADS) AND SHALL CONSIST OF 4" WIDE LINES.

ALL PAVEMENT MARKINGS SHALL BE PER ODOT ITEM 640 AND 642. ALL PAVEMENT MARKINGS TO BE TYPE 1, UNLESS APPLICATION IS REQUIRED WHEN AIR AND PAVEMENT TEMPERATURES ARE BETWEEN 35 °F AND 50 °F, THEN OBTAIN APPROVAL FROM THE OWNER AND APPLY ONLY PRE-QUALIFIED TYPE 1A COLD WEATHER TRAFFIC PAINT MATERIALS PER ITEM 642 AND 740.

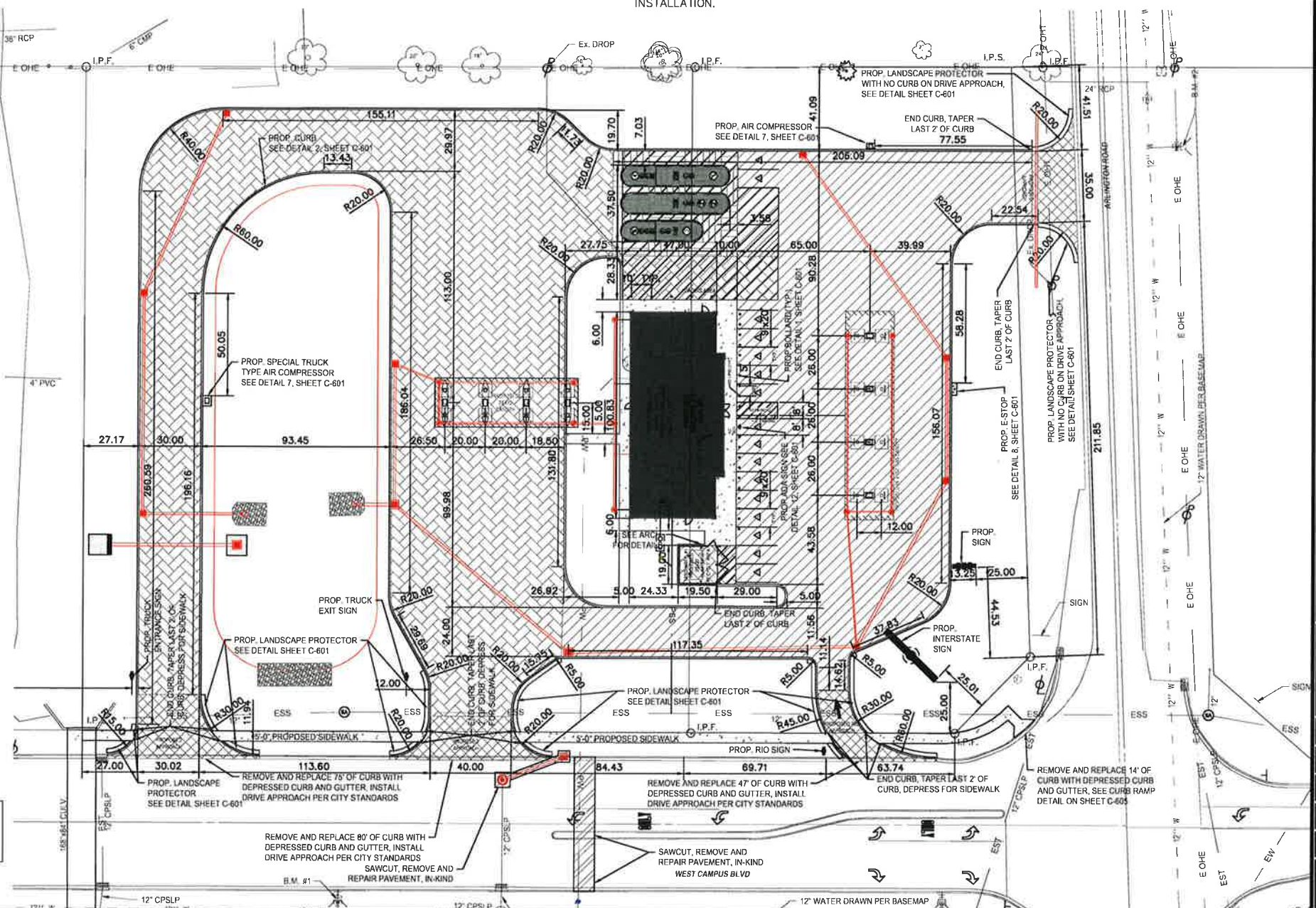
ALL MARKING LAYOUT AND COLOR SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

NOTES:

- 1) ALL DIMENSIONS INVOLVING CURBING ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- 2) INSTALL DRIVEWAY PER THE CITY OF BROOKVILLE STANDARDS.
- 3) CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.
- 4) CONTRACTOR TO FOLLOW ALL PERMIT REQUIREMENTS AND SPECIFICATIONS TO INSTALL THE PROPOSED DEVELOPMENT INCLUDING COORDINATING THE INSTALLATION WITH LOCAL OFFICIALS AS NEEDED AND/OR REQUIRED.
- 5) CONTRACTOR TO COORDINATE ALL WORK WITH THE OWNER AS NEEDED/REQUIRED.

BENCHMARK #1 ELEV: 1028.70 PT.#: 71598
BOLT AT THE TIP OF THE ARROW
ON FH EAST OF THE CREEK
CROSSING ON W CAMPUS BLVD.

BENCHMARK #2 ELEV: 1031.24 PT.#: 71857
BOLT AT TIP OF THE ARROW ON FH SOUTH
OF THE POWER LINES CROSSING THE SITE
ON THE EAST SIDE OF ARLINGTON RD.



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CASEY'S GENERAL STORE #4402
CITY OF BROOKVILLE
DIMENSIONING AND PAVEMENT PLAN

REVISIONS:

FILE NAME	DIMENSION
DRAWN BY	JCP
CHECKED BY	MLS
PROJECT No.	MOTBRO2309
DATE	11-06-2023
SHEET NUMBER	C-101

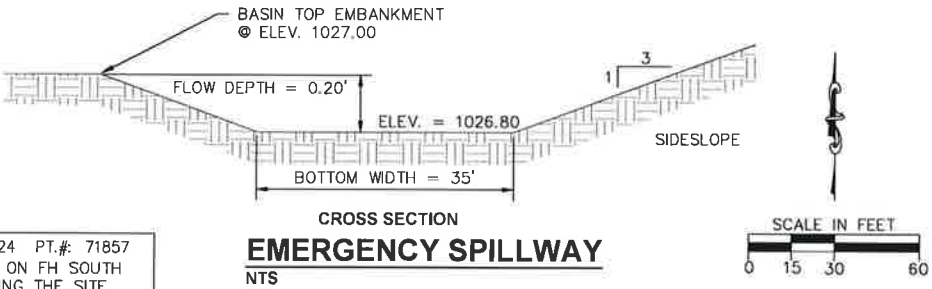
LEGEND

- 830- EXISTING CONTOURS
- 830- PROPOSED CONTOURS
- PROPOSED STORM SEWER
- PROPOSED EDGE PAVEMENT
- PROPOSED CURB
- G = PROPOSED GROUND ELEVATION

GRADE TIE IN NOTE:
CONTRACTOR TO TIE INTO EXISTING ELEVATIONS THROUGHOUT THE SITE. CONTRACTOR SHALL ENSURE PROPER GRADING AND DRAINAGE IS PROVIDED FOR ALL AREAS WITHIN THE SITE TO DRAIN TO EXISTING OR PROPOSED STORM SYSTEMS OR SWALES. CONTRACTOR SHALL ENSURE THAT DRAINAGE IS PROPERLY DIRECTED AWAY FROM ANY BUILDINGS/STRUCTURES. THIS SHALL INCLUDE ALL TEMPORARY GRADING AS NEEDED INCLUDING INSTALLING TEMPORARY DRAINAGE SWALES AND INSTALLING ALL TEMPORARY STORM SEWER CATCH BASINS, INLETS, PIPING, ETC. AS NEEDED TO ENSURE PROPER DRAINAGE OF THE SITE THROUGHOUT THE COURSE OF CONSTRUCTION. ALL WORK TO BE COORDINATED WITH AND AS DIRECTED BY OWNER.

BENCHMARK #1 ELEV: 1028.70 PT.#: 71598
BOLT AT THE TIP OF THE ARROW
ON FH EAST OF THE CREEK
CROSSING ON W CAMPUS BLVD.

BENCHMARK #2 ELEV: 1031.24 PT.#: 71857
BOLT AT TIP OF THE ARROW ON FH SOUTH
OF THE POWER LINES CROSSING THE SITE
ON THE EAST SIDE OF ARLINGTON RD.



NOTES:
CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.

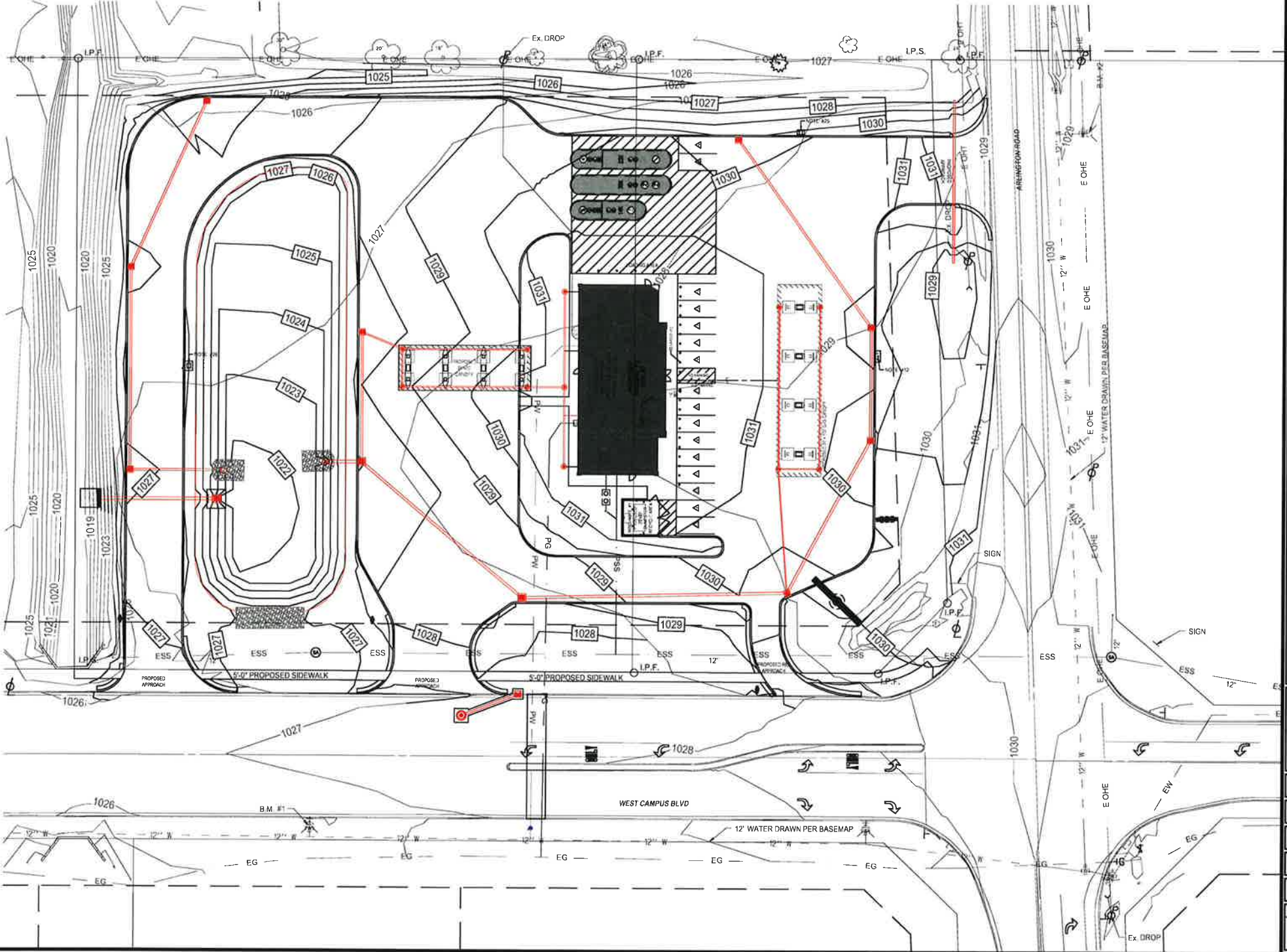
CONTRACTOR TO TIE INTO EXISTING PAVEMENT ELEVATIONS AS REQUIRED WHERE EVER NEW PAVEMENT ABUTS UP TO EXISTING PAVEMENT TO ENSURE A SMOOTH TRANSITION. ALL EX. PAVEMENT ELEVATIONS GIVEN ARE APPROXIMATED AND SHALL BE FIELD VERIFIED. CONTRACTOR SHALL ALSO ENSURE THAT A SMOOTH TRANSITION IS PROVIDED WHERE EVER PROPOSED GRADES MEET EXISTING GRADES THROUGHOUT THE SITE.

ALL DISTURBED LAWN AREAS SHALL BE GRADED TO DRAIN TO THE NEAREST INLET STRUCTURE.

CONTRACTOR TO ENSURE ALL AREAS OF THE SITE HAVE POSITIVE DRAINAGE. NO PONDING OR PUDDLING OF WATER IS PERMITTED.

TOPSOIL VARIES FROM 6"-15" AND MUST BE REMOVED FULL DEPTH PRIOR TO FILLING.

FOOTINGS (BUILDING AND CANOPY) ARE TO HAVE A MINIMUM OF 2' LOW VOLUME CHANGE MATERIAL BELOW THEM. THERE ARE FAT CLAYS ON SITE AND THE FOOTINGS SHOULDN'T DIRECTLY BEAR ON THEM. THE LEAN CLAY WITH SAND IS FINE, BUT NOT THE FAT CLAYS.





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CASEY'S GENERAL STORE #4402
CITY OF BROOKVILLE
GRADING PLAN

REVISIONS:

FILE NAME	GRADING
DRAWN BY	JCP
CHECKED BY	MLS
PROJECT No.	MOTBR02309
DATE	11-06-2023
SHEET NUMBER	C-201

LEGEND

EP = EXISTING PAVEMENT ELEVATION
P = PROPOSED PAVEMENT ELEVATION
B = PROPOSED TOP OF CURB ELEVATION
W = PROPOSED SIDEWALK ELEVATION
L = PROPOSED TOP OF LID ELEVATION
(LID IS 2" ABOVE ACTUAL PAVEMENT, PER DETAIL)
TF = PROPOSED TOP OF FOUNDATION ELEVATION

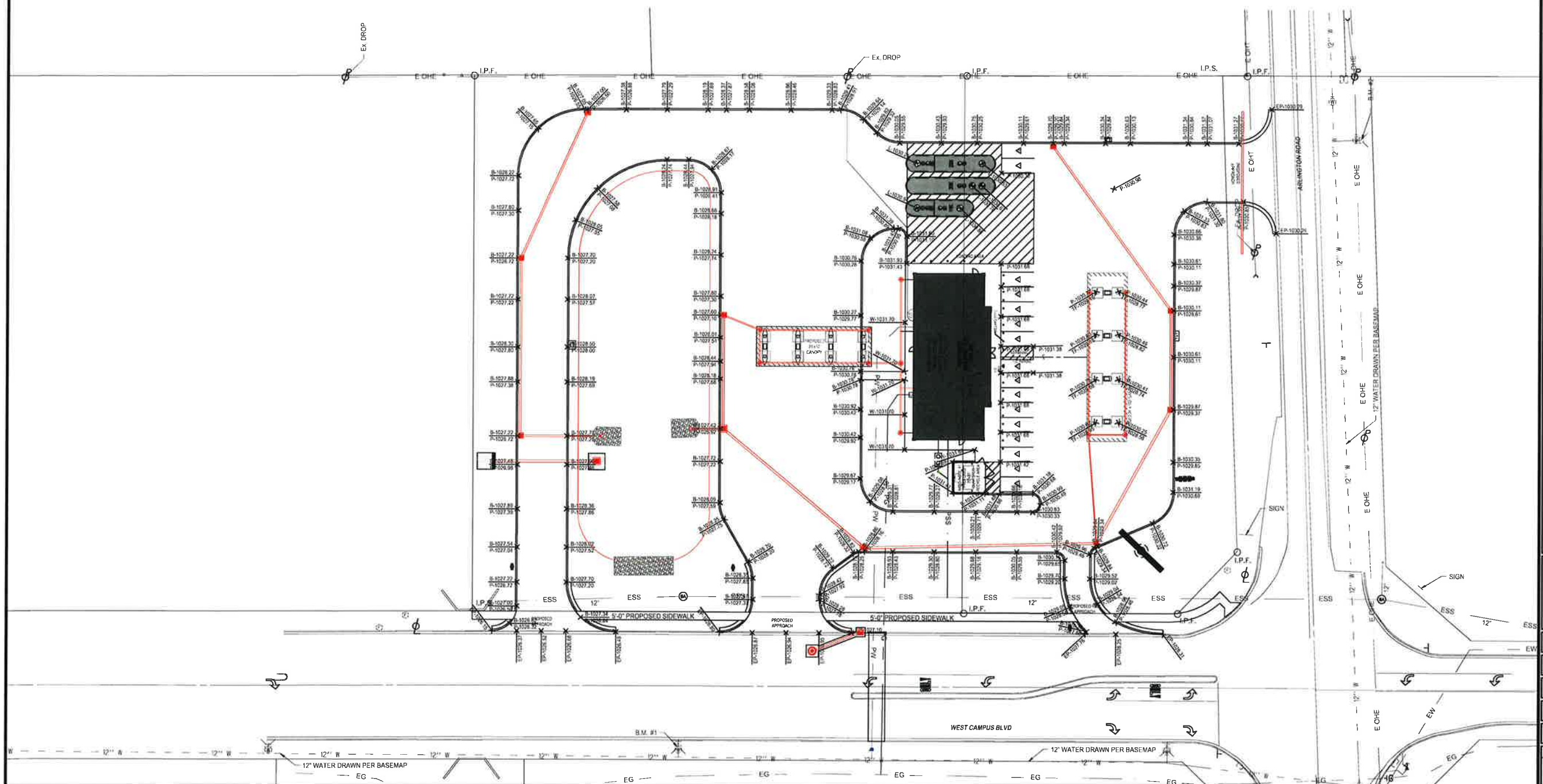
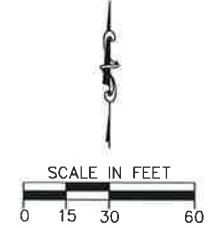
NOTE THAT IN ORDER TO FACILITATE PROPER ADA ACCESS THERE MAY BE AREAS WHERE IT IS INTENDED FOR THERE TO BE NO CURB EXPOSURE (PAVEMENT AND TOP OF CURB TO BE FLUSH).

NOTE:

CONTRACTOR TO TIE INTO EXISTING PAVEMENT ELEVATIONS AS REQUIRED WHERE EVER NEW PAVEMENT ABUTS UP TO EXISTING PAVEMENT TO ENSURE A SMOOTH TRANSITION. ALL EX. PAVEMENT ELEVATIONS GIVEN ARE APPROXIMATED AND SHALL BE FIELD VERIFIED. CONTRACTOR SHALL ALSO ENSURE THAT A SMOOTH TRANSITION IS PROVIDED WHERE EVER PROPOSED GRADES MEET EXISTING GRADES THROUGHOUT THE SITE.

BENCHMARK #1 ELEV: 1028.70 PT.#: 71598
BOLT AT THE TIP OF THE ARROW
ON FH EAST OF THE CREEK
CROSSING ON W CAMPUS BLVD.

BENCHMARK #2 ELEV: 1031.24 PT.#: 71857
BOLT AT TIP OF THE ARROW ON FH SOUTH
OF THE POWER LINES CROSSING THE SITE
ON THE EAST SIDE OF ARLINGTON RD.



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CASEY'S GENERAL STORE #4402 CITY OF BROOKVILLE PAVEMENT ELEVATIONS PLAN

REVISIONS:
FILE NAME PMT. ELE.
DRAWN BY JCP
CHECKED BY MLS
PROJECT No. MOTBRO2309
DATE 11-06-2023
SHEET NUMBER C-202

- UTILITY CONFLICT:**
- 2 STORM DOWNSPOUT-1027.70 INV. ELECTRIC- 1027.00 INV. 30" MIN. DEPTH
 - 3 WATER- 4.5' MIN. DEPTH STORM- 1027.42 INV 8" 18" MIN. SEP.
 - 4 WATER- 4.5' MIN. DEPTH STORM- 1027.03 INV 8" 18" MIN. SEP.
 - 5 STORM-1027.39 INV. 8" GAS- 1025.00 INV 30" MIN. DEPTH
 - 6 STORM-1024.85 INV. 15" GAS- 1022.00 INV 30" MIN. DEPTH
 - 7 Ex. SANITARY-1014.01 INV. 12" GAS- 1022.00 INV. 30" MIN. DEPTH. FIELD VERIFY
 - 8 Ex. SANITARY-1013.90 INV. 12" FIELD VERIFY
 - 9 WATER- 4.5' MIN. DEPTH STORM- 1024.82 INV 15" 18" MIN. SEP.
 - 10 GAS- 1024.00 Ex. WATER-UNKNOWN INV. 18" MIN. SEP. FIELD VERIFY

PROPOSED STORM STRUCTURES	
#1 TYPE 2-2C CB TOP 1029.20 12" SE INV. 1026.34	
#2 TYPE 2-2C CB TOP 1029.61 12" NW INV. 1025.97 12" S INV. 1025.97	
#3 TYPE 2-2C CB TOP 1029.37 12" N INV. 1025.76 15" SW INV. 1025.51	
#4 TYPE 2-2C CB TOP 1029.34 15" NE INV. 1025.28 15" W INV. 1025.28 6" N INV. 1026.03	
#5 TYPE 2-2C CB TOP 1028.16 15" E INV. 1024.81 15" NW INV. 1024.56	
#6 TYPE 2-3 CB TOP 1026.92 15" SE INV. 1024.15 18" W INV. 1023.90 12" N INV. 1024.00	
#7 TYPE 2-2C CB TOP 1027.10 12" S INV. 1024.24 8" E INV. 1024.24	
#8 TYPE 2-2C CB TOP 1026.50 12" SW INV. 1023.48	
#9 TYPE 2-2C CB TOP 1026.72 12" NE INV. 1023.19 12" S INV. 1023.19	
#10 TYPE 2-2C CB TOP 1026.72 12" N INV. 1022.87 12" E INV. 1022.87	
#11 TYPE 3 DOGHOUSE STM MH TOP 1028.71 12" E INV. 1023.02 Ex. 12" S INV. 1023.02	
#12 TYPE 1 CB B/C 1028.12 12" W INV. 1023.34	

NOTES:

CONTRACTOR TO VERIFY EXACT LOCATION, DEPTH AND SIZE OF UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER OF ANY CONFLICTS PRIOR TO THE INSTALLATION OF UTILITIES.

ALL UTILITIES TO BE INSTALLED PER CITY OF BROOKVILLE AND/OR CITY OF MONTGOMERY COUNTY STANDARDS.

CONTRACTOR TO VERIFY AND LOCATE WHERE STORM, SANITARY, AND WATER LATERALS AND ALL OTHER PROPOSED UTILITY SERVICES TIE INTO THE PROPOSED BUILDING PER BUILDING PLANS. CONTRACTOR SHALL ALSO VERIFY THE SIZES AND TYPES OF ALL LATERALS AND HOW THEY MAY TIE INTO THE PROPOSED BUILDINGS.

CONTRACTOR TO FOLLOW ALL PERMIT REQUIREMENTS AND SPECIFICATIONS TO INSTALL THE PROPOSED UTILITIES INCLUDING COORDINATING THE INSTALLATION WITH LOCAL OFFICIALS AS NEEDED AND/OR REQUIRED.

CONTRACTOR TO COORDINATE ALL WORK WITH THE OWNER AS NEEDED/REQUIRED.

LOCATE EXISTING UTILITIES NOTE:

THIS ITEM OF WORK MAY BE PERFORMED ON AS NEEDED BASIS AND SHALL CONSIST OF THE CONTRACTOR FIELD LOCATING THE VARIOUS EXISTING UTILITY LINES LOCATION, SIZE, AND DEPTH PRIOR TO PERFORMING ANY PROPOSED WORK OR ONCE WORK HAS BEGUN. THIS WORK MAY ALSO REQUIRE THE CONTRACTOR TO INSPECT THE LINES BY OTHER METHODS SUCH AS DYE TESTING OR CAMERA/VIDEO TO FIND THE ORIGIN AND LOCATION OF THE LINE. THE CONTRACTOR SHALL COOPERATE AND COORDINATE WITH THE OWNER AS NEEDED TO ENSURE EXISTING FACILITY OPERATIONS ARE MAINTAINED.

ALL WORK TO BE PER AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND TO BE WITNESSED BY THE OWNER'S REPRESENTATIVE. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

UNKNOWN EXISTING UNDERGROUND UTILITIES:

CONTRACTOR TO BE AWARE THERE MAY BE OTHER UNKNOWN SERVICES OR UNKNOWN UNDERGROUND UTILITIES OR ITEMS WHICH MAY BE LOCATED WITHIN THE SITE AND MAY REQUIRE REMOVAL OR REROUTING IN ORDER TO PERFORM THE PROPOSED PROJECT. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY UNKNOWN UNDERGROUND UTILITIES OR OTHER ITEMS WHICH ARE ENCOUNTERED AND WORK WITH THE OWNER TO DECIDE HOW THESE ITEMS SHOULD BE HANDLED.

BUILDING UTILITY NOTE:

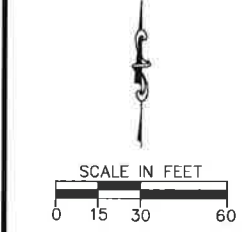
CONTRACTOR TO VERIFY/COORDINATE ALL UTILITY ENTRANCE LOCATIONS AT THE BUILDING WITH THE ARCHITECTURAL PLANS. THIS INCLUDES BUT NOT LIMITED TO SANITARY SEWER, WATER, ELECTRICAL, AND TELECOMMUNICATIONS.

ELECTRICAL/MECHANICAL NOTE:

CONTRACTOR SHALL REFER TO THE ELECTRICAL/MECHANICAL DRAWINGS FOR DEMOLITION AND/OR INSTALLATION INFO. OF ALL EXISTING AND PROPOSED ELECTRICAL/MECHANICAL ITEMS FOR THE SITE AND/OR HOW THESE ITEMS ARE TO BE HANDLED AND ADDRESSED.

BENCHMARK #1 ELEV: 1028.70 PT.#: 71598
BOLT AT THE TIP OF THE ARROW
ON FH EAST OF THE CREEK
CROSSING ON W CAMPUS BLVD.

BENCHMARK #2 ELEV: 1031.24 PT.#: 71857
BOLT AT TIP OF THE ARROW ON FH SOUTH
OF THE POWER LINES CROSSING THE SITE
ON THE EAST SIDE OF ARLINGTON RD.

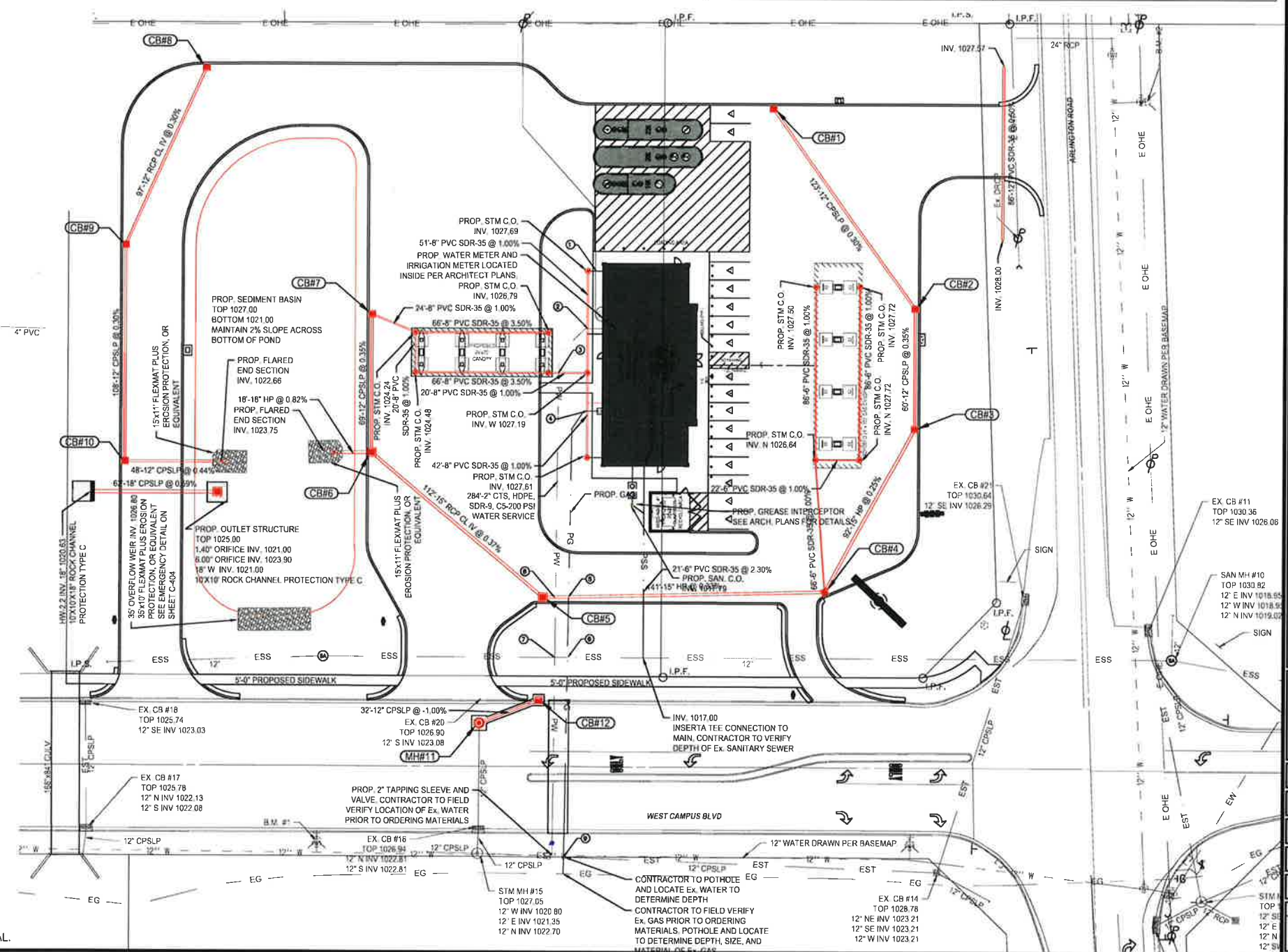


GAS, ELECTRIC, COMMUNICATION CONFLICT NOTE:

CONTRACTOR TO LOWER/DIP THESE UTILITIES AS NEEDED TO AVOID CONFLICTS WITH ANY PROPOSED OR EXISTING SANITARY OR STORM OR WATER LINES THEY MAY CONFLICT WITH. IF THESE UTILITY LINES CONFLICT WITH ANY PROPOSED OR EXISTING WATERLINES THEN CONTRACTOR TO DETERMINE WHETHER TO LOWER/DIP THE WATERLINE OR LOWER/DIP THE GAS/ELECTRIC/COMMUNICATION LINE(S). CONTRACTOR MAY NEED TO CONSULT WITH AND OBTAIN OWNER'S APPROVAL AS TO WHICH UTILITY WILL BE LOWERED PRIOR TO PERFORMING THIS WORK. COST OF THIS ITEM SHALL BE INCLUDED IN THE COST OF THE CONTRACTOR'S OVERALL LUMP SUM BID FOR THE PROJECT.

DOWNSPOUT PIPING NOTE:

THE CONTRACTOR SHALL CONNECT ANY DOWNSPOUTS AS SHOWN ON THE SITE PLAN OR TO THE CLOSEST STORM PIPING OR CATCH BASINS USING CPSLP OR PVC SDR-35 SEWER OR APPROVED EQUAL.



SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8534
www.CHOICEONEENGINEERING.com

CASEY'S GENERAL STORE #4402
CITY OF BROOKVILLE
UTILITY PLAN

REVISIONS:

FILE NAME	UTILITY
DRAWN BY	JCP
CHECKED BY	MLS
PROJECT No.	MOTBR02309
DATE	11-06-2023
SHEET NUMBER	C-301



VICINITY MAP

SWPPP NOTE

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED FOR CASEY'S SERVICES COMPANY FOR THE PERFORMANCE OF THE CASEY'S PROJECT IN MONTGOMERY COUNTY, OHIO. ALL WORK SHALL BE PER AND COMPLY WITH THE OEPA CONSTRUCTION SITE STORM WATER GENERAL PERMIT, PERMIT #OHCD000006. THIS INCLUDES FILING A CO-PERMITTEE NOI FORM WITH THE OEPA FOR ALL OPERATORS ENGAGED IN SITE WORK ON THE SITE. CONTRACTOR SHALL FOLLOW THE SPECIFICATIONS, INSTALLATION, MAINTENANCE AND REQUIREMENTS OF ODOT'S CURRENT SUPPLEMENTAL SPECIFICATION 832 "TEMPORARY SEDIMENT AND EROSION CONTROL." COMPLIANCE WITH SUPPLEMENTAL SPECIFICATION 832 SHALL INCLUDE THE STANDARD CONSTRUCTION DRAWING REFERENCES LISTED IN SECTION 832.03, BUT SHALL NOT INCLUDE SECTION 832.11 "INSPECTIONS AND SWPPP UPDATES." ALL INSPECTIONS AND SWPPP UPDATES SHALL BE PER THE OEPA CONSTRUCTION SITE STORM WATER GENERAL PERMIT, PERMIT #OHCD000006. ALL WORK SHALL ALSO BE PER THE CURRENT ODOT CMS 107.19. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH LOCAL STORMWATER AND EROSION CONTROL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH AND INSTALLING ALL ITEMS NOTED AND AS REQUIRED BY OEPA AND LOCAL AUTHORITIES FOR MEETING ALL STORM WATER POLLUTION PREVENTION REQUIREMENTS. CASEY'S SERVICES COMPANY AND THE SELECTED CONTRACTOR SHALL BE THE RESPONSIBLE PARTY IN CHARGE OF THE SWPPP AND ASSOCIATED BMP'S.

SITE DATA

LOCATION SOIL TYPES: BROOKSTON SILTY CLAY LOAM/CELINA SILT LOAM
EARTH DISTURBED AREA: 3.36 ACRES
PROPOSED IMPERVIOUS AREA ADDED: 2.03 ACRES
PRE-CONSTRUCTION RUNOFF COEFFICIENT: 0.40
POST-CONSTRUCTION RUNOFF COEFFICIENT: 0.75
DESCRIPTION OF PRIOR LAND USE: AGRICULTURAL LOT
EXISTING QUALITY OF DISCHARGE FROM SITE: UNTREATED RUNOFF
IMMEDIATE RECEIVING WATERS: ON-SITE DETENTION BASIN
SUBSEQUENT RECEIVING WATERS: CITY CULVERT/WOLF CREEK
LATITUDE 39.852321' LONGITUDE -84.426366'

WATERS EDGE NOTE

ALL MATERIAL AND EQUIPMENT STAGING OR STORAGE AREAS, DEWATERING AREAS, CONCRETE TRUCK WASH OUT AREAS, CONSTRUCTION ACCESS LOCATIONS, AND VEHICLE FUELING AND REFUELING LOCATIONS MUST BE LOCATED A MINIMUM OF 100' FROM ANY CREEK/RIVER/STREAM WATERS EDGE.

CLEAN STORM SYSTEM NOTE

IMMEDIATELY PRIOR TO FINAL COMPLETION OF THE PROJECT, CONTRACTOR SHALL ENSURE THE ENTIRE STORM SYSTEM, INCLUDING BUT NOT LIMITED TO, THE DETENTION/RETENTION BASIN(S), CATCH BASINS, MANHOLES, PIPING, UNDERDRAINS AND UNDERDRAIN TRENCHES ARE FREE FROM SEDIMENTATION AND OTHER POLLUTANTS AND FOREIGN MATERIALS AND ARE TO BE CLEANED AS NEEDED TO ENSURE MAXIMUM STORMWATER QUALITY AND FULL FUNCTIONALITY.

OFFSITE CONSTRUCTION ACTIVITIES

IT IS EXPECTED ALL CONSTRUCTION ACTIVITIES WILL TAKE PLACE ON SITE.

SPILL REPORTING REQUIREMENTS

IN THE EVENT OF A SMALL RELEASE (LESS THAN 25 GALLONS) OF PETROLEUM WASTE, SPECIAL HANDING PROCEDURES MUST BE USED. IN THE EVENT OF A LARGE RELEASE (25 GALLONS OR MORE) OF PETROLEUM WASTE, YOU MUST CONTACT THE OHIO EPA (AT 1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL OF 25 OR MORE GALLONS.

VEHICLE FUELING

VEHICLE FUELING AND MAINTENANCE WILL BE PERFORMED VIA A SMALL REFUEL TANK ON THE BACK OF A PICK-UP TRUCK.

OPEN BURNING NOTE

OPEN BURNING IS NOT PERMITTED IN THE CORPORATION LIMIT.

CASEY'S GENERAL STORE #4402 - SWPPP

CITY OF BROOKVILLE MONTGOMERY COUNTY, OHIO INDEX OF SHEETS

SWPPP TITLE SHEET C-401
SWPPP GENERAL EROSION CONTROL NOTES AND DETAILS C-402 - C-403
SWPPP SITE EROSION CONTROL PLAN C-404

CONTACT INFORMATION

FACILITY SITE LOCATION: NORTHWEST INTERSECTION OF W CAMPUS BOULEVARD AND ARLINGTON RD, BROOKVILLE, OH 45309
OWNER: CASEY'S SERVICES COMPANY, ERIK NIKKEL, SR. SITE DEVELOPMENT MANAGER, PO BOX 3004, 3305 SE DELAWARE AVENUE, ANKENY, IA, 50021, ERIK.NIKKEL@CASEYS.COM
SWPPP CONTACT/CONTRACTOR CONTACT - TBD

SWPPP AND INSPECTION REPORTS LOCATION

NOTE: THE SWPPP AND INSPECTION REPORTS WILL BE KEPT ON-SITE IN THE JOB TRAILER/FOREMAN'S PICK-UP.

WASTE DISPOSAL NOTE

CONTAINERS (e.g. DUMPSTERS, DRUMS) MUST BE AVAILABLE FOR THE DISPOSAL OF DEBRIS, TRASH, HAZARDOUS MATERIAL AND PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF.

CLEAN HARD FILL NOTE

NO CLEAN CONSTRUCTION WASTES SHALL BE DISPOSED OF INTO THE PROPERTY.

FUELING AND STAGING NOTE

CONTRACTOR'S STAGING AND STORAGE AREA WILL BE LOCATED WITHIN CONSTRUCTION LIMITS OF THE PROJECT. FUEL TANKS AND OTHER HAZARDOUS MATERIALS TO BE SAFELY STORED, PROTECTED, AND PROPERLY HANDLED BY CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STAGING/STORAGE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. CONTRACTOR SHALL CLEAN UP AND PROPERLY DISPOSE OF ANY WASTE MATERIALS.

SOIL STOCKPILE NOTE

CONTRACTOR'S SHALL LOCATE SOIL STOCKPILE AREAS WITHIN THE PROJECT AREA SO AS NOT TO BE WITHIN THE IMMEDIATE PROXIMITY OF ANY SURFACE WATERS OR STORM INLET STRUCTURES. CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE NO POLLUTANTS FROM THE STOCKPILE AREA LEAVE THE SITE OR ENTER ADJACENT SURFACE WATERS OR THE STORM SYSTEM. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO INSTALLING FILTER FABRIC FENCE AROUND STOCKPILE, TEMPORARILY COVERING THE STOCKPILE AND/OR TEMPORARILY SEEDING THE STOCKPILE.

DEWATERING NOTE

PUMPING OF SEDIMENT LADEN WATER FROM TRENCHES OR ANY OTHER EXCAVATIONS DIRECTLY INTO ANY SURFACE WATERS, DITCH OR STREAM CORRIDORS, ANY WETLANDS OR STORM SEWERS IS PROHIBITED. ALL SUCH WATER SHALL BE PROPERLY FILTERED OR SETTLED TO REMOVE SOIL PARTICLES PRIOR TO ITS RELEASE. IF AN AREA OF THE SITE OR TRENCH NEEDS DEWATERED, IT SHOULD BE PUMPED FROM A SUMP PIT WITH A SOCK FILTER OR OTHER TYPE OF FILTERING DEVICE ON THE DISCHARGE OF THE HOSE. DO NOT ALLOW DISCHARGED WATER TO PASS OVER DISTURBED GROUND. IF THE DISCHARGE WATER IS BEING PUMPED INTO A SEDIMENT POND THEN NO FILTER IS REQUIRED AT THE END OF THE HOSE. IF THE GROUNDWATER MUST BE LOWERED, THE WATER MAY BE FREELY DISCHARGED AS LONG AS THE WATER REMAINS CLEAN. DO NOT CO-MINGLE CLEAN GROUND WATER WITH SEDIMENT LADEN WATER OR DISCHARGE IT BY ALLOWING IT TO PASS OVER DISTURBED GROUND.

LOG/DOCUMENTATION SHEETS

AS PART OF THE SWPPP, THE CONTRACTOR SHALL MAINTAIN LOG/DOCUMENTATION SHEETS FOR THE FOLLOWING:

- 1) A SIGNATURE LOG CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE SWPPP AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWPPP.
- 2) A GRADING AND STABILIZATION LOG DOCUMENTING THE PROJECTS GRADING AND STABILIZATION ACTIVITIES AND
- 3) A SWPPP AMENDMENT LOG DOCUMENTING CHANGES/AMENDMENTS TO THE SWPPP, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION A NEW CASEY'S GENERAL STORE AND ASSOCIATED DRIVES AND PARKING. SITE WORK TO INCLUDE STORM SEWER, SANITARY SEWER, WATER, SITE GRADING, PAVEMENT WORK AND BUILDING CONSTRUCTION.

PROJECT WORK CONSTRUCTION DATES

START: SPRING 2024
ESTIMATED COMPLETION: FALL 2024

EROSION CONTROL NOTES

- A. INSTALL AND MAINTAIN FILTER FABRIC FENCE AND INLET PROTECTION WHERE SHOWN AND AS NEEDED TO MINIMIZE SEDIMENT LADEN WATER FROM LEAVING THE SITE OR ENTERING ANY STORM SYSTEM, ADJACENT DITCHES, STREAMS ETC. IF STORMWATER RUNOFF CONTAINING SEDIMENTS IS FOUND TO BE LEAVING THE PROJECT SITE IN AN AREA WHERE NO BMP/CONTROL MEASURE IS SHOWN OR IN PLACE, CONTRACTOR SHALL IMMEDIATELY INSTALL THE APPROPRIATE BMP/CONTROL MEASURE AS NEEDED TO REMEDY THE SITUATION (TYP. INLET PROTECTION, FILTER FABRIC FENCE, ETC.).
- B. INSTALL INLET PROTECTION ON ALL STORM INLET STRUCTURES (YARD DRAINS, CATCH BASINS, MANHOLES WITH GRATED LIDS, ETC.) AND TO ANY EXISTING STORM STRUCTURES WITHIN THE PROJECT AREA WHICH MAY RECEIVE RUNOFF FROM THE CONSTRUCTION SITE AS NEEDED. INLET PROTECTION MAY CONSIST OF DEVICES SUCH AS SEDGAGE (WWW.SEDCATCH.COM), DANDY BAGS, SEDIGUARD FILTERS, FLEXSTORM INLET FILTERS, SEDIMENT FENCE OR OTHER DEVICES WHICH ARE EFFECTIVE AT MINIMIZING THE AMOUNT OF SEDIMENT ENTERING THE STRUCTURE.
- C. CONTRACTOR IS RESPONSIBLE FOR IMMEDIATELY CLEANING UP ANY MUD, DIRT AND DEBRIS WHICH IS TRACKED OR SPILLED ONTO THE ROADWAYS.
- D. PRE CONSTRUCTION - CONTRACTOR IS RESPONSIBLE TO INSTALL A CONSTRUCTION ENTRANCE AS NEEDED TO MINIMIZE ANY MUD, DIRT AND DEBRIS TRACKED ONTO THE ROADWAYS.
- E. DURING CONSTRUCTION - THE CONTRACTOR MUST MAINTAIN EROSION CONTROL UNTIL AREA IS STABILIZED INCLUDING TEMPORARY SEEDING AS NEEDED. CONTRACTOR SHALL TEMPORARILY SEED ALL CRITICAL EXPOSED SLOPES TO MINIMIZE SEDIMENT RUNOFF.
- F. FINAL/POST CONSTRUCTION - CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS. CONTRACTOR SHALL ENSURE GRASS IS PERMANENTLY AND PROPERLY ESTABLISHED IN ALL AREAS WHERE GRASS IS SPECIFIED. ALL SEDIMENT AND EROSION CONTROL STRUCTURES, INCLUDING SEDIMENT FENCE, SHALL REMAIN IN PLACE UNTIL GRASS IS IN PLACE AND SITE IS STABILIZED. ONCE SITE IS STABILIZED AND ALL CONSTRUCTION IS COMPLETE, ALL SEDIMENT FENCE, INLET PROTECTION AND ANY OTHER TEMPORARY BMP'S SHALL BE REMOVED FROM THE SITE.

BMP NOTES

FOR ALL BMP'S INSTALLED, ENSURE THAT THE PONDING OF WATER BEHIND THE BMP WILL NOT DAMAGE PROPERTY OR POSE A SAFETY THREAT. IF PERIODIC INSPECTIONS OR OTHER INFORMATION INDICATES A CONTROL MEASURE/BMP HAS BEEN USED INAPPROPRIATELY, THE CONTRACTOR MUST REPLACE AND ADJUST THE CONTROL/BMP TO MEET SITE CONDITIONS AS REQUIRED. THE CONTRACTOR SHALL ADJUST THE SWPPP AND ITS CONTROLS/BMPS AND THEIR QUANTITIES TO MEET FIELD CONDITIONS AND THE OHIO EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION ACTIVITIES GENERAL PERMIT.

MAINTENANCE NOTE

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE SWP3 SHALL BE DESIGNED TO MINIMIZE MAINTENANCE REQUIREMENTS. THE APPLICANT SHALL PROVIDE A DESCRIPTION OF MAINTENANCE PROCEDURES NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF CONTROL PRACTICES.

SWPPP AND INSPECTION AVAILABILITY AND UPDATES NOTE

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENSURE THE IMMEDIATE AVAILABILITY OF THE SWPPP AND INSPECTION REPORTS ON-SITE. THE CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE TO PERFORM AND DOCUMENT ALL REQUIRED SWPPP INSPECTIONS AND ALL UPDATES AND AMENDMENTS TO THE SWPPP.

DOCUMENTATION AND GOVERNMENT INSPECTION NOTE

CONTRACTOR(S) SHALL PROVIDE THE OWNER'S REPRESENTATIVE A WRITTEN COPY OF THEIR CO-PERMITTEE APPLICATION AND ANY OTHER DOCUMENTATION THE CONTRACTOR(S) MAY SEND OR RECEIVE FROM THE OEPA OR ANY OTHER GOVERNING AUTHORITIES.

IF AN INSPECTOR OR REPRESENTATIVE FROM THE OEPA OR ANY OTHER GOVERNING AUTHORITY IS ON-SITE, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND NOTIFY THE OWNER'S REPRESENTATIVE.



CASEY'S GENERAL STORE #4402 - SWPPP

REVISIONS:

FILE NAME
SWPPP COVER
DRAWN BY
JCP
CHECKED BY
MLS
PROJECT NO:
MOTBRO2309
SHEET NUMBER

C-401



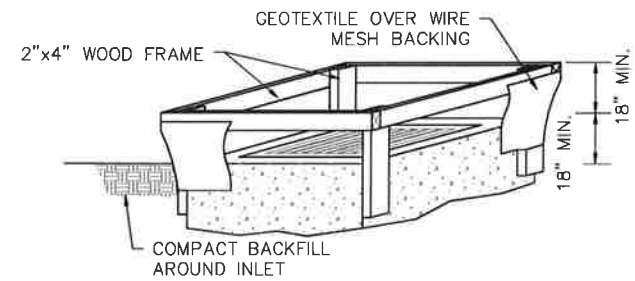
440 E. HOEWISHER ROAD | SIDNEY, OHIO 45365 | 937.497.0200
8956 GLENDALE MILFORD ROAD, SUITE 1 | LOVELAND, OHIO 46140 513.239.8554

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NOVEMBER 06, 2023

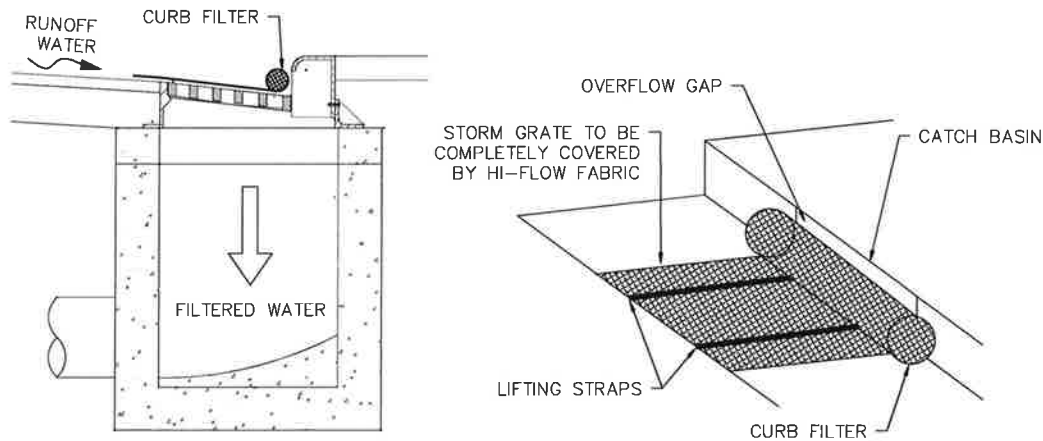
INLET PROTECTION FOR STORM STRUCTURES W/ GRATE

INLET PROTECTION MAY CONSIST OF SEDIMENT FENCE AND/OR DEVICES SUCH AS FLEX STORM INLET FILTERS, SEDCAGE (WWW.SEDCATCH.COM), DANDY BAGS, SEDIGUARD FILTERS, OR OTHER DEVICES (ALTERNATE PRODUCTS WHOSE PERFORMANCE IS EQUAL TO OR EXCEEDS THOSE LISTED) WHICH ARE EFFECTIVE AT MINIMIZING THE AMOUNT OF SEDIMENT ENTERING THE STRUCTURE. INSTALL INLET PROTECTION ON ALL PROPOSED YARD DRAINS, CATCH BASINS AND MANHOLES WITH GRATED LIDS AND TO ALL EXISTING STORM STRUCTURES WITH GRATED LIDS WITHIN THE PROJECT AREA WHICH MAY RECEIVE RUNOFF FROM THE CONSTRUCTION SITE.



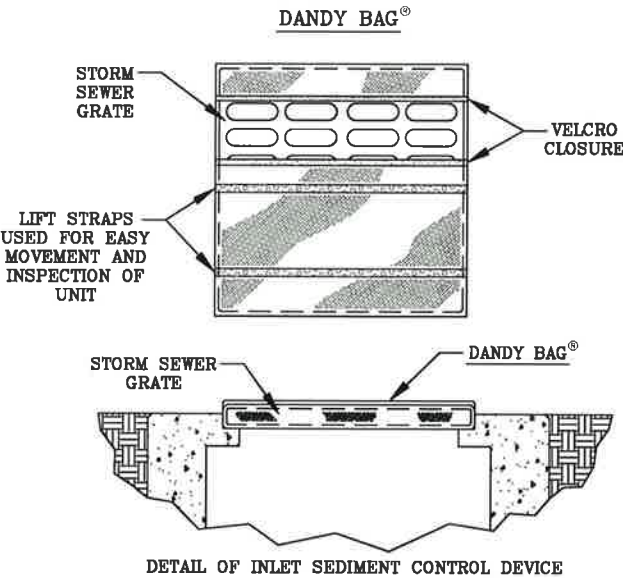
- NOTES**
- A. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
 - B. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH OF AT LEAST 18".
 - C. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2" BY 4" CONSTRUCTION GRADE LUMBER. THE 2" BY 4" POST SHALL BE DRIVEN 1' INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2" BY 4" FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6" BELOW ADJACENT ROAD, IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
 - D. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
 - E. GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAY ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
 - F. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6" LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
 - G. A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION, AND IF RUNOFF BY PASSING THE INLET WILL NOT FLOW TO A SETTING POND, THE TOP OF EARTH DIKES SHALL BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME.

INLET PROTECTION IN SWALES, DITCH LINES OR YARD INLETS



- NOTES**
- A. DANDY CURB BAG, SEDIGUARDS, OR ALTERNATE PRODUCT WHOSE PERFORMANCE IS EQUAL TO OR EXCEEDS THOSE LISTED MAY BE USED.
 - B. REMOVE SEDIMENT FROM CURB INLET PROTECTION BEFORE IT HINDERS THE FILTERING CAPACITY.
 - DANDY CURB BAG: LIFT GRATE AND REMOVE DANDY BAG, CLEAN ACCUMULATED SEDIMENT AND REPLACE BAG AS REQUIRED BY MANUFACTURER.
 - SEDIGUARD: CLEAN SEDIGUARD ONCE IT IS DRY WITH A STIFF BROOM AFTER EVERY RAIN.
 - ALTERNATE PRODUCTS: CLEAN AS REQUIRED PER MANUFACTURER'S RECCOMENDATIONS
 - C. INLET PROTECTION SHOULD NEVER INTERFERE WITH SAFETY OF ACTIVE TRAFFIC.

CURB INLET SEDIMENT FILTER DETAIL



DANDY BAG® SPECIFICATIONS

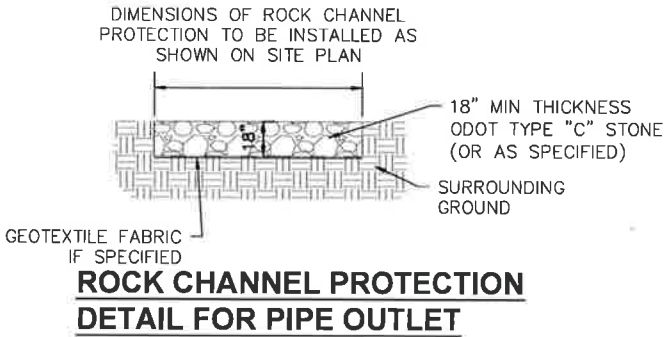
NOTE: THE DANDY BAG® WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

HI-FLOW DANDY BAG® (SAFETY ORANGE)

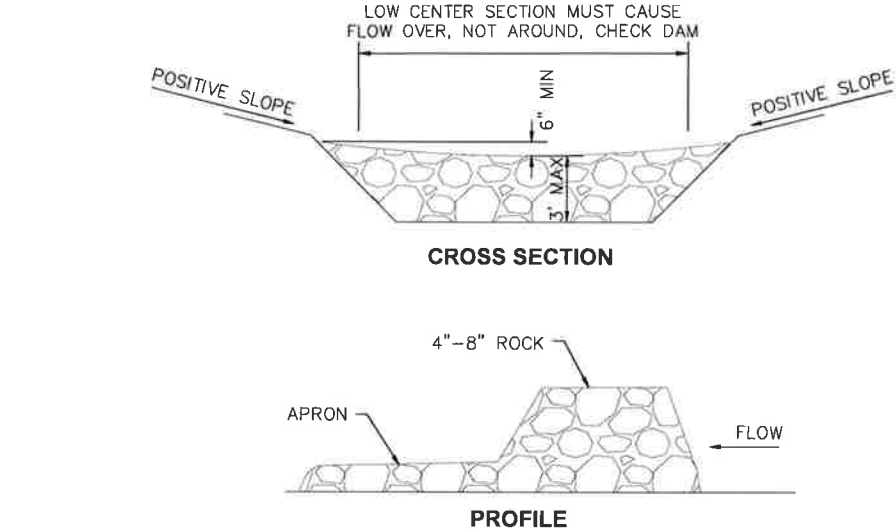
Mechanica Properties	Test Method	Units	MINIMUM
Gross Tensile Strength	ASTM D 4632	ksi (lbs)	1.67 (365) X 0.89 (200)
Gross Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	ksi (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	ksi (psi)	3097 (430)
Tear Resistance	ASTM D 4243	ksi (lbs)	0.51 (115) X 0.55 (75)
UV Resistance	ASTM D 4355	%	50
Apparent Opening Size	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4461	l/min/m² (gal/min/ft²)	5007 (145)
Permeability	ASTM D 4461	Sec⁻¹	2.1

*Note: All Dandy Bags® can be ordered with optional oil absorbent pillows

INLET PROTECTION - DANDY BAG

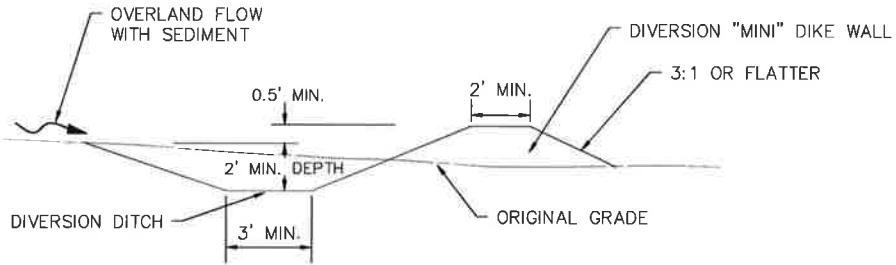


ROCK CHANNEL PROTECTION DETAIL FOR PIPE OUTLET



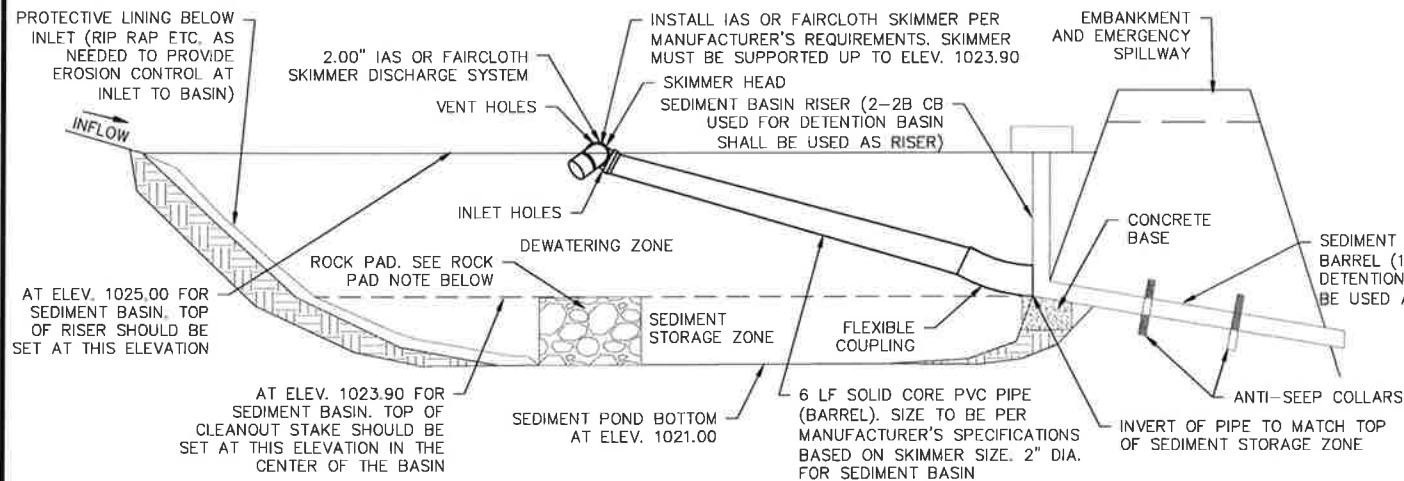
- NOTES**
- A. THE CHECK DAM SHALL BE CONSTRUCTED OF 4-8 INCH DIAMETER STONE, PLACED SO THAT IT COMPLETELY COVERS THE WIDTH OF THE CHANNEL. ODOT TYPE D STONE IS ACCEPTABLE, BUT SHOULD BE UNDERLAIN WITH A GRAVEL FILTER CONSISTING OF ODOT No. 3 OR 4 OR SUITABLE FILTER FABRIC.
 - B. MAXIMUM HEIGHT OF CHECK DAM SHALL NOT EXCEED 3.0 FEET.
 - C. THE MIDPOINT OF THE ROCK CHECK DAM SHALL BE A MINIMUM OF 6 INCHES LOWER THAN THE SIDES IN ORDER TO DIRECT ACROSS THE CENTER AND AWAY FROM THE CHANNEL SIDES.
 - D. THE BASE OF THE CHECK DAM SHALL BE ENTRENCHED APPROXIMATELY 6 INCHES.
 - E. A STONE APRON SHALL BE CONSTRUCTED IMMEDIATELY DOWNSTREAM OF THE CHECK DAM TO PREVENT FLOWS FROM UNDERCUTTING THE STRUCTURE. THE APRON SHOULD BE 6 INCHES THICK AND ITS LENGTH TWO TIMES THE HEIGHT OF THE DAM.
 - F. STONE PLACEMENT SHALL BE PERFORMED EITHER BY HAND OR MECHANICALLY AS LONG AS THE CENTER OF CHECK DAM IS LOWER THAN THE SIDES AND EXTENDS ACROSS ENTIRE CHANNEL.
 - G. SIDE SLOPES SHALL BE A MINIMUM OF 2:1.

DITCH ROCK CHECK DAM



- NOTES**
- A. BERM CAN BE CONSTRUCTED AS DITCH OR DIKE WALL.
 - B. PLACE DITCH ON A GRADE TO DRAIN TO SEDIMENT BASIN.

CROSS SECTION OF A DIVERSION BERM



CROSS SECTION DETAIL
SEDIMENT BASIN

NOTES

- A. SEDIMENT BASINS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- B. SITE PREPARATION –THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED AS NEEDED TO FACILITATE SEDIMENT CLEANOUT. GULLIES AND SHARP BREAKS SHALL BE SLOPED TO NO STEEPER THAN 1:1. THE SURFACE OF THE FOUNDATION AREA WILL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE EMBANKMENT MATERIAL.
- C. EMBANKMENT –THE FILL MATERIAL SHALL BE FREE OF ALL SOD, ROOTS, FROZEN SOIL, STONES OVER 6 IN. IN DIAMETER, AND OTHER OBJECTIONABLE MATERIAL. THE PLACING AND SPREADING OF THE FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL SHALL BE BROUGHT UP IN APPROXIMATELY 6 IN. HORIZONTAL LAYERS OR OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED WITH THE EQUIPMENT USED. CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER EACH LAYER IN A WAY THAT WILL RESULT IN THE REQUIRED COMPACTION. SPECIAL EQUIPMENT SHALL BE USED WHEN THE REQUIRED COMPACTION CANNOT BE OBTAINED WITHOUT IT. THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE SUCH THAT THE REQUIRED DEGREE OF COMPACTION CAN BE OBTAINED WITH THE EQUIPMENT USED. THE EMBANKMENTS OF THE SEDIMENT BASIN AND THE AREAS THAT LIE DOWNSTREAM OF THE POND MUST BE STABILIZED.
- D. PIPE SPILLWAY –THE PIPE CONDUIT BARREL SHALL BE PLACED ON A FIRM FOUNDATION TO THE LINES AND GRADES SHOWN ON THE PLANS. CONNECTIONS BETWEEN THE RISER AND BARREL, THE ANTI-SEEP COLLARS AND BARREL AND ALL PIPE JOINTS SHALL BE WATERTIGHT. SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND THE CONDUIT IN LAYERS AND EACH LAYER SHALL BE COMPACTED TO AT LEAST THE SAME DENSITY AS THE ADJACENT EMBANKMENT. ALL COMPACTION WITHIN 2 FT. OF THE PIPE SPILLWAY WILL BE ACCOMPLISHED WITH HAND-OPERATED TAMPING EQUIPMENT.
- E. RISER PIPE BASE –THE RISER PIPE SHALL BE SET A MINIMUM OF 6 IN. IN THE CONCRETE BASE.
- F. TRASH RACKS –THE TOP OF THE RISER SHALL BE FITTED WITH TRASH RACKS FIRMLY FASTENED TO THE RISER PIPE.
- G. SEED AND MULCH –THE SEDIMENT BASIN SHALL BE STABILIZED IMMEDIATELY FOLLOWING ITS CONSTRUCTION. IN NO CASE SHALL THE EMBANKMENT OR EMERGENCY SPILLWAY REMAIN BARE FOR MORE THAN 7 DAYS.
- H. SEDIMENT CLEANOUT –SEDIMENT SHALL BE REMOVED AND THE SEDIMENT BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT FILLS TO THE DESIGN DEPTH OF THE SEDIMENT STORAGE ZONE. THIS ELEVATION SHALL BE MARKED ON A CLEANOUT STAKE NEAR THE CENTER OF THE BASIN. SEDIMENT REMOVED FROM THE BASIN SHALL BE PLACED SO THAT IT WILL NOT ERODE.
- I. FINAL REMOVAL – SEDIMENT BASINS SHALL BE REMOVED AFTER THE UPSTREAM DRAINAGE AREA IS STABILIZED OR AS INDICATED IN THE PLANS. DEWATERING AND REMOVAL SHALL NOT CAUSE SEDIMENT TO BE DISCHARGED. THE SEDIMENT BASIN SITE AND SEDIMENT REMOVED FROM THE BASIN SHALL BE STABILIZED.

OPERATIONS AND MAINTENANCE

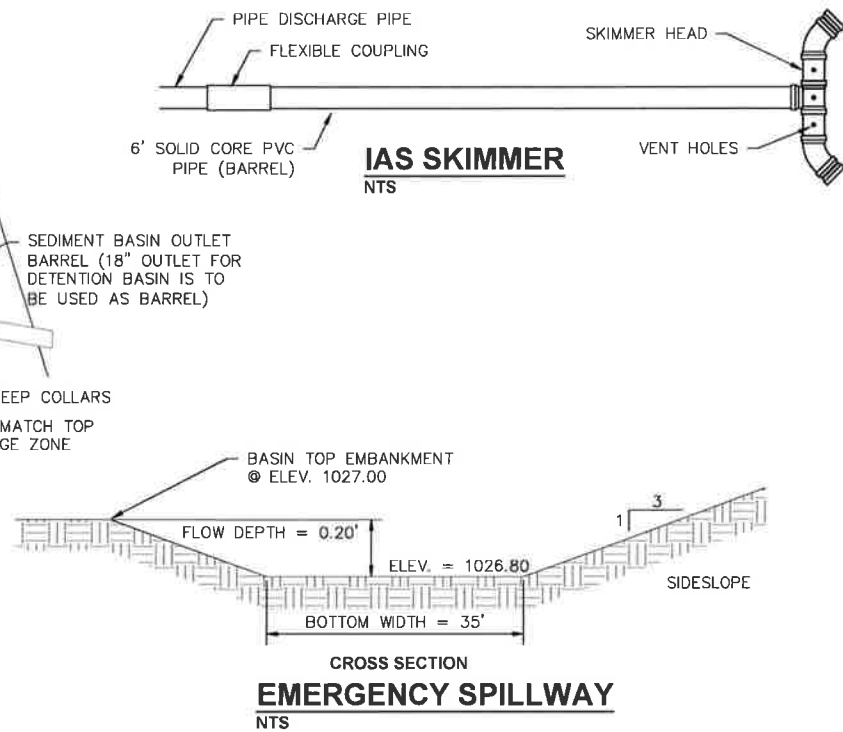
SEDIMENT BASINS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. NECESSARY ACTIVITIES ARE SHOWN AS FOLLOWS:

- A. ESTABLISH VEGETATIVE COVER AND FERTILIZE AS NECESSARY TO MAINTAIN A VIGOROUS COVER IN AND AROUND THE SEDIMENT BASIN.
- B. REMOVE UNDESIRABLE VEGETATION PERIODICALLY TO PREVENT GROWTH OF TREES AND SHRUBS ON THE EMBANKMENT AND SPILLWAY AREAS.
- C. PROMPTLY REPAIR ERODED AREAS. REESTABLISH VEGETATIVE COVER IMMEDIATELY WHERE SCOUR EROSION HAS REMOVED ESTABLISHED SEEDING.
- D. PROMPTLY REMOVE ANY BURROWING RODENTS THAT MAY INVADE AREAS OF THE EMBANKMENT.
- E. REMOVE TRASH AND DEBRIS THAT MAY BLOCK SPILLWAYS AND ACCUMULATE IN THE POND.
- F. CHECK SPILLWAY OUTLETS AND POINTS OF INFLOW TO ENSURE DRAINAGE IS NOT CAUSING EROSION AND THAT OUTLETS ARE NOT CLOGGED. REPLACE DISPLACED RIPRAP IMMEDIATELY.

ROCK PAD NOTE

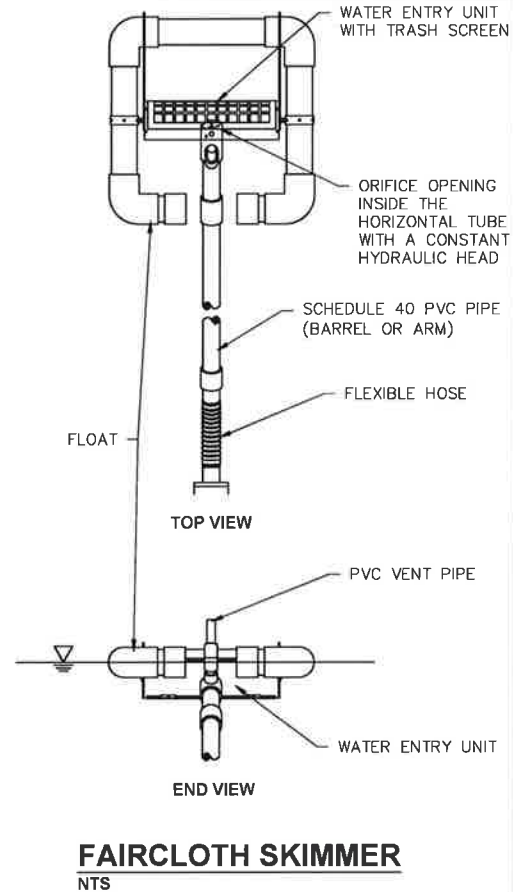
IT IS VERY IMPORTANT THAT A ROCK PAD BE CONSTRUCTED TO THE HEIGHT OF THE TOP OF THE SEDIMENT STORAGE ZONE. IF THIS IS NOT DONE OR IF THE PAD IS NOT BUILT TO THE SAME HEIGHT AS THE TOP OF THE SEDIMENT STORAGE ZONE, THE SKIMMER WILL NOT FUNCTION PROPERLY .

WHEN COMPLETE THE IAS FLEXIBLE COUPLING SHOULD BE LYING FLAT ON THE ROCK PAD. THE UNIT WILL BE TOUCHING AT TWO POINTS: THE TOP OF THE BARREL/MIDDLE OF THE SKIMMER HEAD AND THE POINT AT WHICH THE BARREL IS ATTACHED TO THE IAS FLEXIBLE COUPLING. SEE MANUFACTURER'S ASSEMBLY INSTRUCTIONS.



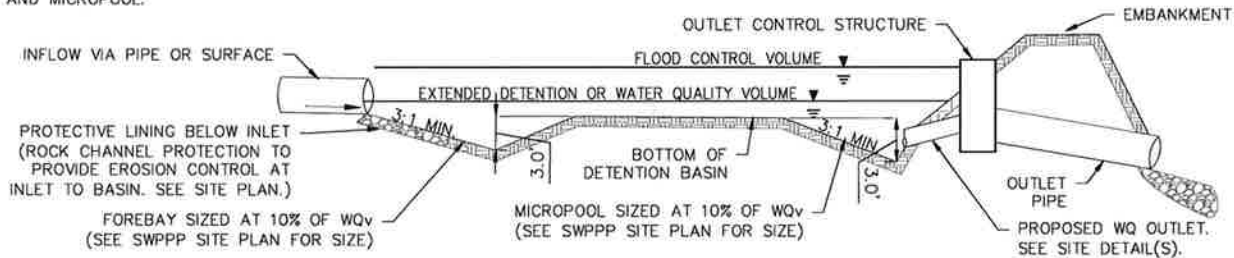
SEDIMENT BASIN CALCULATIONS

REQUIRED SEDIMENT STORAGE VOLUME = 37 C.Y./ACRE * 3.36 ACRES = 124.3 C.Y.
TOP OF SEDIMENT STORAGE ZONE ELEVATION = 1023.90 (366.5 C.Y.). SET CLEANOUT STAKE AT THIS ELEVATION.
REQUIRED DEWATERING ZONE VOLUME = 67 C.Y./ACRE * 3.36 ACRES = 225.1 C.Y.
DEWATERING ZONE VOLUME (BETWEEN 1023.90 AND 1025.00) = 386.8 C.Y.
TOTAL BASIN VOLUME REQUIRED TO TOP OF DEWATERING ZONE = 124.3 C.Y. + 225.1 C.Y. = 349.4 C.Y.
TOP OF DEWATERING ZONE ELEVATION = 1025.00 (753.4 C.Y.)
TOTAL SEDIMENT BASIN PROVIDED TO ELEV. 1027.00 = 1,877.9 C.Y.
RISER AND BARREL: PROPOSED 18" DETENTION OUTLET AND 2-2B CB ARE TO BE USED AS OUTLET FOR SEDIMENT BASIN.
EMERGENCY SPILLWAY: EMERGENCY SPILLWAY TO BE TRAPEZOIDAL WITH A BOTTOM WIDTH OF 35'.
DEWATERING TIME : 2.66 DAYS
386.8 C.Y. * 27 = 10,443.6 C.F. VOLUME TO BE DEWATERED
USING A FAIRCLOTH/IAS WATER QUALITY SKIMMER WITH A 2" SKIMMER SIZE, IT DISCHARGES 3,928 CF PER 24 HOURS
THEREFORE IT WILL TAKE 2.66 DAYS TO DEWATER THIS SEDIMENT BASIN.



SEDIMENT BASIN CONVERT TO SITE DETENTION BASIN NOTE

UPON COMPLETION OF THE PROJECT, IF THE SEDIMENT BASIN IS TO SERVE AND FUNCTION AS A SITE DETENTION/RETENTION BASIN, ALL SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASIN WHICH IS ABOVE ITS PROPOSED FINAL SURFACE GRADES THROUGHOUT THE BASIN AND ALSO AS NEEDED TO PLACE ANY REQUIRED TOPSOIL. UPON PROJECT COMPLETION AND FINAL CLEANING, THE SEDIMENT BASIN SHOULD BE ESTABLISHED TO ITS PROPOSED RETENTION/DETENTION BASIN DESIGN INCLUDING CAPACITY, GRADES, OUTLETS, FOREBAY AND MICROPOL.



FOREBAY AND MICROPOL CROSS SECTION

TYPICAL MAINTENANCE ACTIVITIES FOR DETENTION BASINS

POTENTIAL POLLUTANT SOURCES POST CONSTRUCTION THAT SHOULD BE MONITORED INCLUDE: TRASH, FERTILIZERS, GRAINS, HERBICIDES, PESTICIDES, LAWN TREATMENT APPLICATIONS ALONG WITH ASSORTED FUELS, OILS, GREASE, HYDRAULIC FLUID, AND OTHER VEHICULAR FLUIDS ASSOCIATED WITH TRAFFIC THROUGHOUT THE DEVELOPED SITE.

MONTHLY: MOW EMBANKMENT AND CLEAN TRASH AND DEBRIS FROM OUTLET STRUCTURE. ADDRESS ANY ACCUMULATION OF HYDROCARBONS.

ANNUALLY: INSPECT EMBANKMENT AND OUTLET STRUCTURE FOR DAMAGE AND PROPER FLOW. REMOVE WOODY VEGETATION AND FIX ANY ERODING AREAS. MONITOR SEDIMENT ACCUMULATIONS IN FOREBAY AND MAIN POOL.

SEMI-ANNUALLY: INSPECT WETLAND AREAS FOR INVASIVE PLANS

3-7 YEARS: REMOVE SEDIMENT FROM FOREBAYS.

15-20 YEARS: MONITOR SEDIMENT ACCUMULATIONS IN THE MAIN POOL AND CLEAN AS POND BECOMES EUTROPHIC OR POOL VOLUME IS REDUCED SIGNIFICANTLY.

FINAL DETENTION BASIN

REVISIONS:

FILE NAME

SWPPP NOTES 3

DRAWN BY

JCP

CHECKED BY

MLS

PROJECT NO.

MOTBR02309

DATE

11-06-2023

SHEET NUMBER

C-404

LEGEND

- 830- EXISTING CONTOURS
- 830- PROPOSED CONTOURS
- PROPOSED STORM SEWER
- PROPOSED CONSTRUCTION LIMITS
- F PROPOSED FILTER FABRIC FENCE MEASURE
- PROPOSED INLET PROTECTION
- PROPOSED DITCH CHECK/ROCK CHECK DAM
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED DIVERSION BERM

THIS AREA IS TO BE USED FOR VEHICLE FUELING AND MAINTENANCE. AN ABOVE GROUND STORAGE TANK OF LESS THAN 500 GALLONS WILL BE USED AS THE FUEL SOURCE. THIS AREA WILL ALSO BE USED FOR RECEIVING CONCRETE CHUTE AND OTHER CONCRETE WASH WATERS. THIS SHALL NOT OCCUR ON STREET SUBGRADE OR BASE.

WATER QUALITY AND POST CONSTRUCTION STORM WATER MANAGEMENT AND TREATMENT:

THE FIRST 0.90" OF STORMWATER RUNOFF FOR THE SITE WILL BE CONTROLLED VIA FILTRATION (AND SOME INFILTRATION) BY THE GRASSED AREAS IN AND AROUND THE PROPOSED IMPERVIOUS AREAS, GRASSED SWALES, AND GRASSED BOTTOM OF THE DETENTION BASIN. ADDITIONAL POLLUTANTS WILL ALSO SETTLE OUT OVER TIME IN THE DETENTION BASIN.

THE ON-SITE DETENTION BASIN HAS BEEN DESIGNED TO TREAT THE WATER QUALITY VOLUME (WQV) USING A REDUCED SIZED ORIFICE FOR AN OUTLET AS FOLLOWS:

- RELEASE THE RUNOFF FROM A 0.90" RAIN EVENT ON THE SITE DRAINAGE AREA OVER 48 HOURS OR LONGER AND
- THE FIRST HALF OF THE TOTAL VOLUME GENERATED BY THE RUNOFF FROM A 0.90" RAIN EVENT IS RETAINED FOR GREATER THAN 16 HOURS.

POST-CONSTRUCTION STORM WATER MANAGEMENT WATER QUALITY VOLUME FOR DEVELOPMENT USING 0.90 INCHES OF RAIN:

DETENTION BASIN:

$WQV = 0.82 \times 0.90 \times 2.45 / 12 = 7,828$ CU FT

7,962 CU FT PROVIDED TO ELEV. 1023.60

THE DETENTION BASIN HAS AN OUTLET WITH A 1.40" DIA. ORIFICE THAT RELEASES APPROX. 33% OF THE WQV AT 16 HOURS AND APPROX. 98% AT 48 HOURS

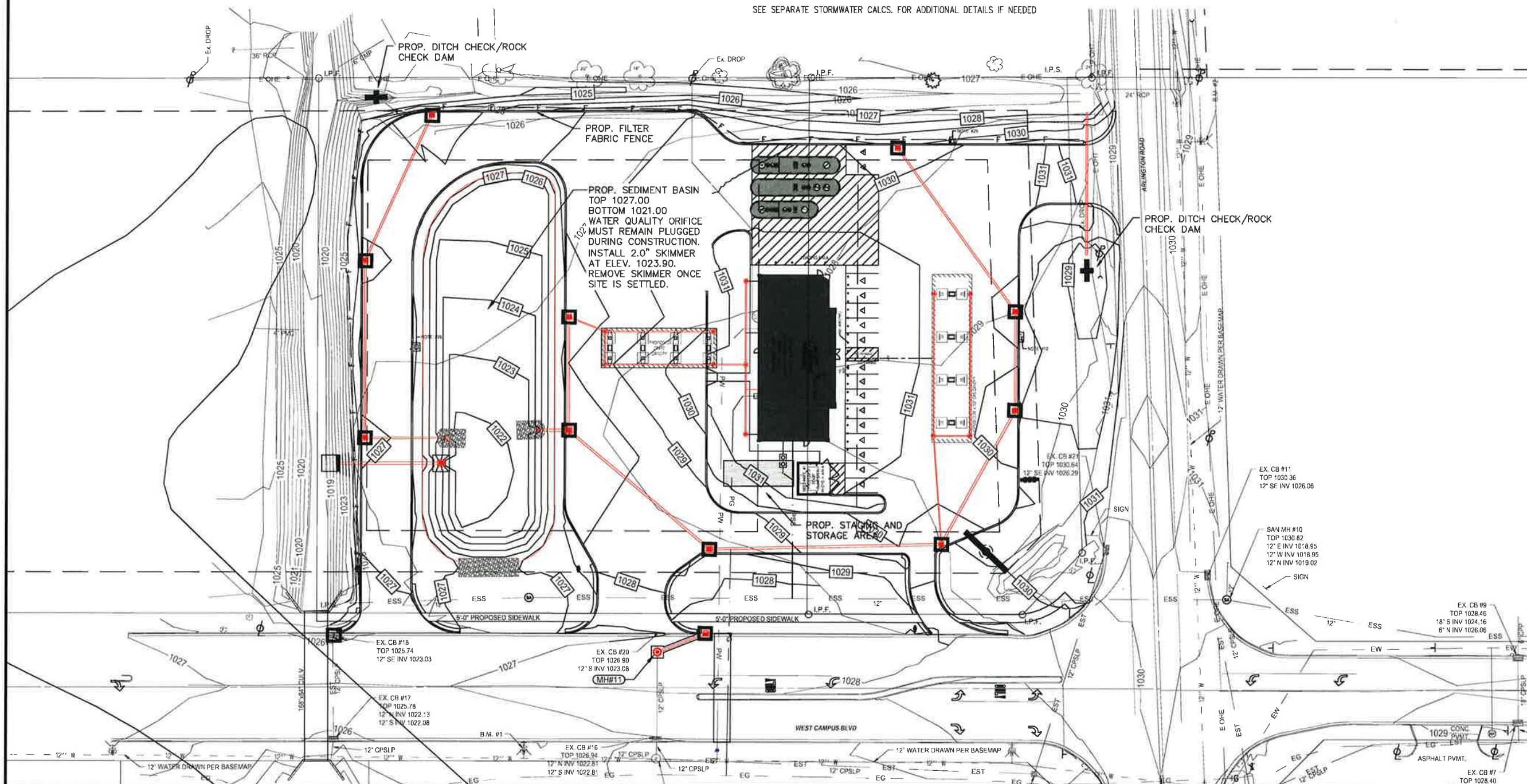
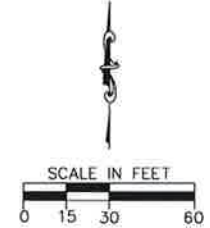
SEE SEPARATE STORMWATER CALCS. FOR ADDITIONAL DETAILS IF NEEDED

BENCHMARK #1 ELEV: 882.46 PT.#: 30447
NORTHWEST BOLT ON FIRE HYDRANT WEST OF DRIVE TO VISION BUILDING ALONG HAVEMANN RD.

BENCHMARK #3 ELEV: 878.94 PT.#: 70100
BOLT THAT THE ARROW POINTS TOO ON THE FIRE HYDRANT ALONG THE DEAD END RD WEST OF THE CREEK CROSSING.

BENCHMARK #2 ELEV: 879.91 PT.#: 70032
BOLT THAT THE ARROW POINTS TO ON THE FIRE HYDRANT ON THE NORTH SIDE OF THE DEAD END ROAD TO THE FAR WEST.

BENCHMARK #4 ELEV: 881.66 PT.#: 70322
SOUTHEAST BOLT ON THE FIRE HYDRANT ALONG HAVEMANN ROAD EAST OF THE DRIVE TO THE VISION BUILDING.

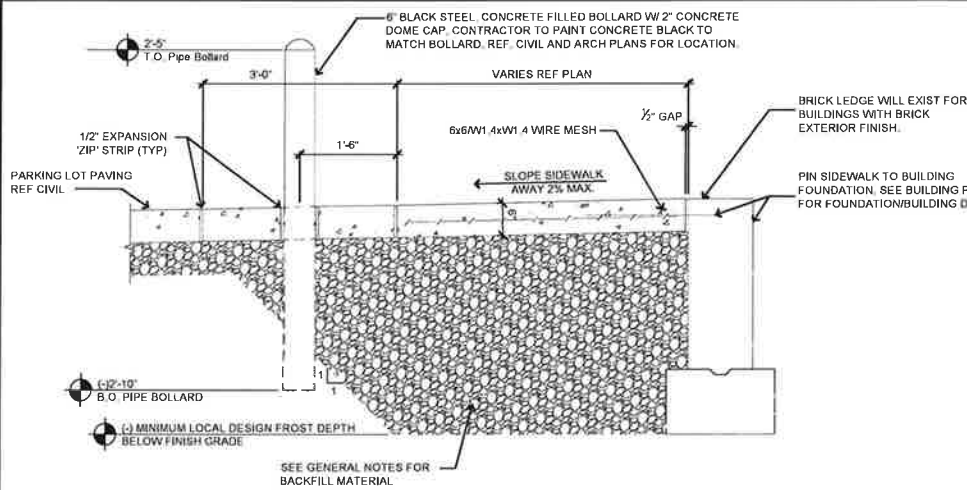


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CASEY'S GENERAL STORE #4402 CITY OF BROOKVILLE SWPPP EROSION CONTROL SITE PLAN

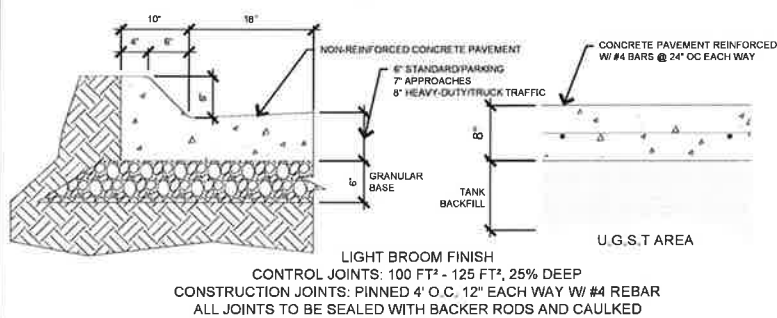
REVISIONS:

FILE NAME	SWPPP
DRAWN BY	JCP
CHECKED BY	MLS
PROJECT No.	MOTBRO2309
DATE	11-06-2023
SHEET NUMBER	C-405



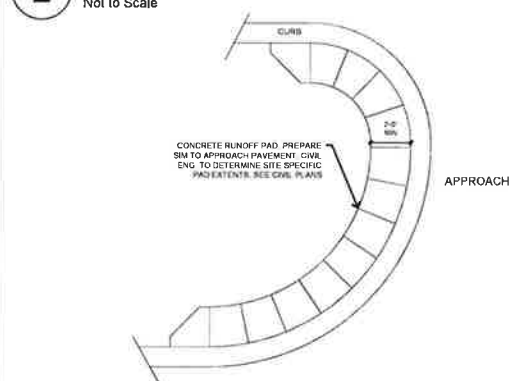
1 TYPICAL BUILDING SIDEWALK AND BOLLARD
3/4" = 1'-0"

SUBGRADE AGGREGATE SECTION TO BE DESIGNED BASED ON SITE SOILS AND USE

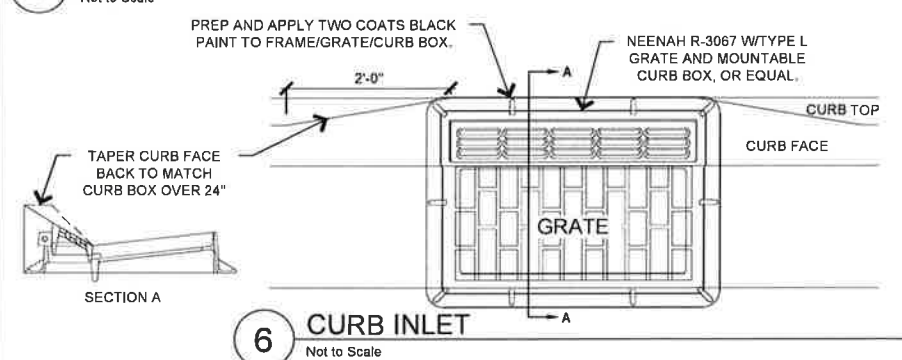


2 CONCRETE PAVING AND CURB
Not to Scale

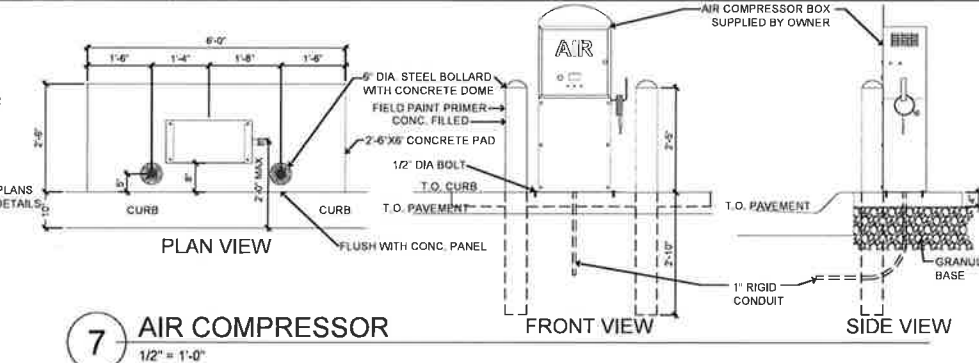
3 PAVING SAW-CUT
Not to Scale



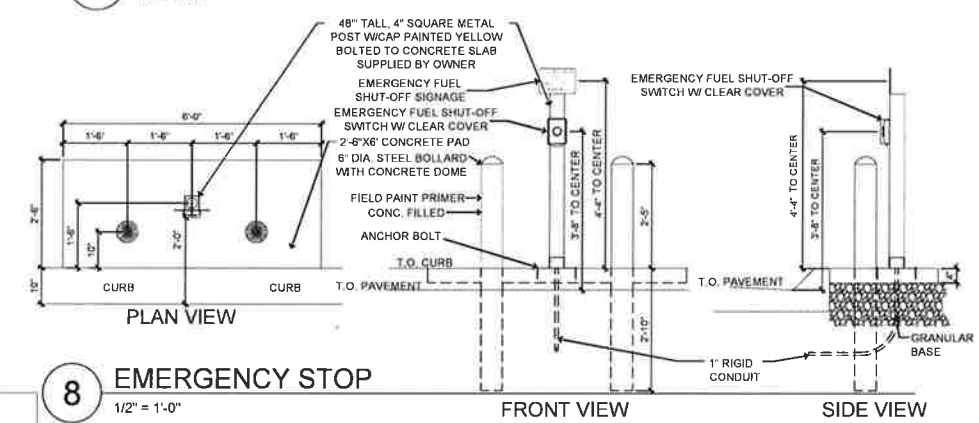
4 LANDSCAPE PROTECTOR
Not to Scale



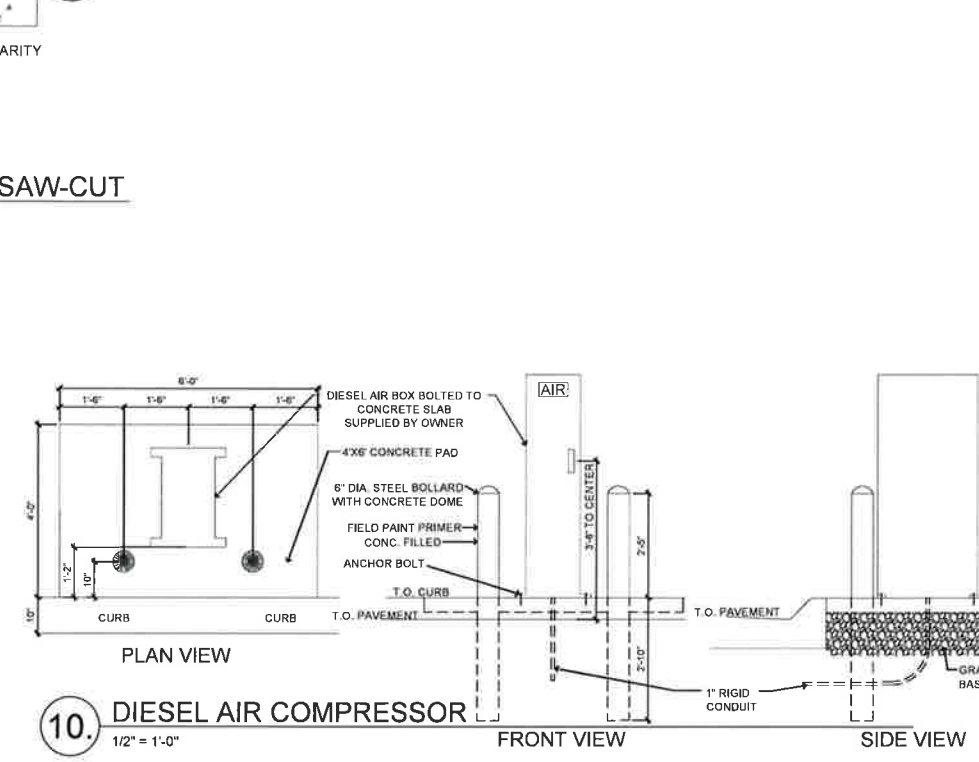
6 CURB INLET
Not to Scale



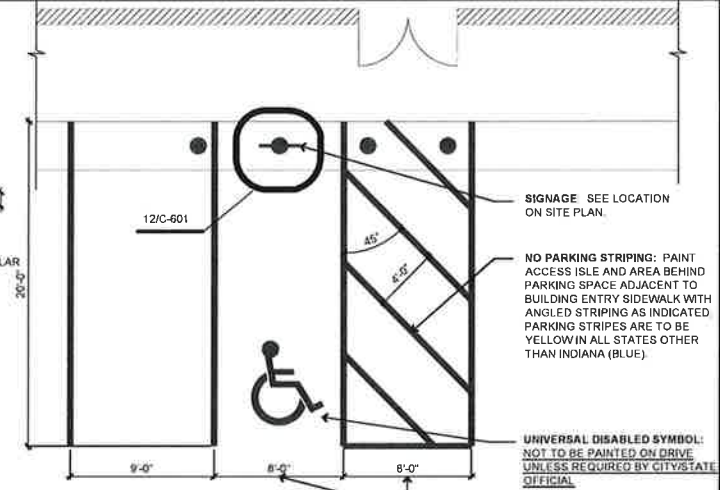
7 AIR COMPRESSOR
1/2" = 1'-0"



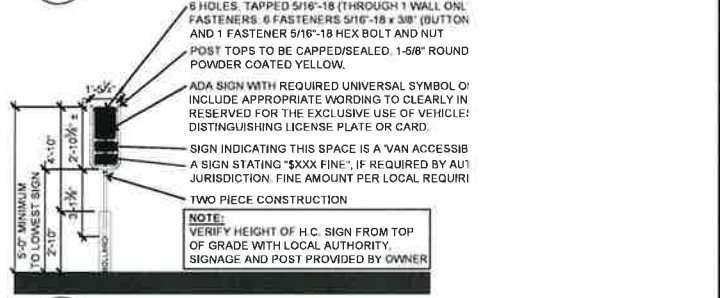
8 EMERGENCY STOP
1/2" = 1'-0"



10 DIESEL AIR COMPRESSOR
1/2" = 1'-0"



11 ADA PARKING SPACES
3/16" = 1'-0"



12 ADA PARKING SIGN
1/4" = 1'-0"

GENERAL NOTES

- Concrete:**
- All concrete and reinforcing work shall conform to the latest edition of the American Concrete Institute's "Standard Building Code Requirements for Reinforced Concrete," (ACI 318) and "Specifications for Structural Concrete for Buildings," (ACI 301).
 - Concrete shall use type II cement. Concrete mix designs shall meet the following requirements:
- | | MINIMUM | MAXIMUM | AIR |
|---------------------------|-----------|-----------|---------|
| 28-DAY f _c | 4,000 psi | W/C RATIO | SLUMP |
| Exterior exposed concrete | 4,000 psi | 0.42 | 4" ± 1" |
| | | | 6% ± 1% |
- If Contractor desires to increase slump above allowable limits to facilitate placement or pumping, this shall be done utilizing a superplasticizer approved by the Ready Mix Designer at a dosage rate provided by Ready Mix Designer.
- The Contractor shall reject any concrete that exceeds the slump limits noted above (prior to adding superplasticizer) or concrete that can not be placed within ninety (90) minutes of batch time.
 - No aluminum shall be placed in concrete.
 - All concrete is reinforced unless specifically noted as Unreinforced. Reinforce all concrete not otherwise shown with the same reinforcing as in similar sections or areas.
 - During hot weather (80 degrees F and above), the Contractor shall comply with the recommendations ACI-305 "Hot Weather Concrete". During cold weather (40 degrees and below), the Contractor shall comply with the recommendations of ACI-306 "Cold Weather Concreting".
 - The concrete mix designs are to be submitted as a formal submittal to the Owner for acceptance PRIOR to concrete being delivered to the site.
 - Verify with local authorities the required thickness of poured concrete for approaches and parking lot.
- Sub-Base And Aggregate:**
- Sub-base Course Under Exterior Concrete Paved Surfaces: Spread and compact sub-base in 6"-8" lifts compacted to 98% Standard Proctor.
 - Aggregate backfill as follows or approved equal by Casey's:
 - Building Slab - 3/4" to 1-1/2" max. clean stone
 - Building Sidewalk - 3/4" to 1-1/2" max. clean stone
 - Pavement - 1" to 1-1/2" max. stone with fines
 - Sidewalk Not Adjacent to Building - Same as pavement
 - Tank pit - See QF sheets

CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., Ankeny, IA 50021 515-965-6100	
2023 Civil Details	01/10/23 03/08/23
CONSTRUCTION DIVISION ARON GOFORTH III	CIVIL DETAILS C-601

Choice One
Engineering

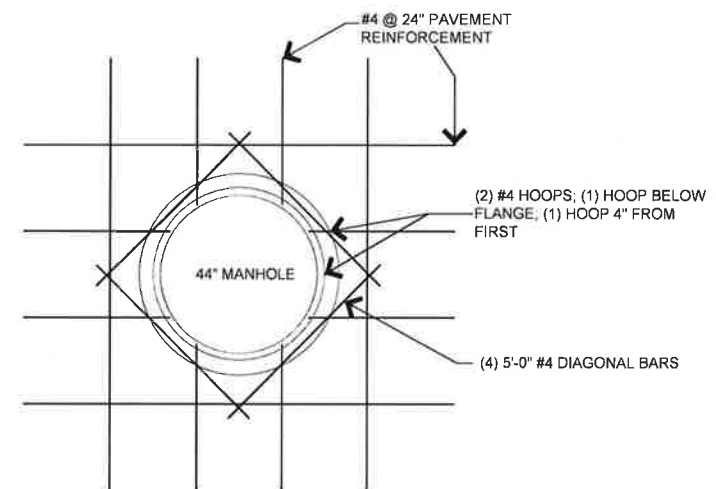
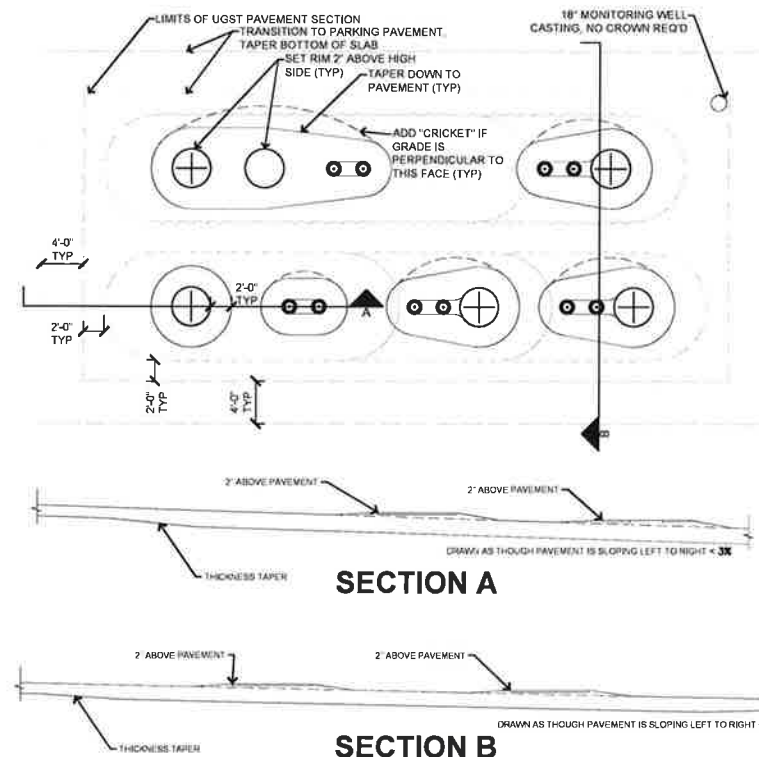
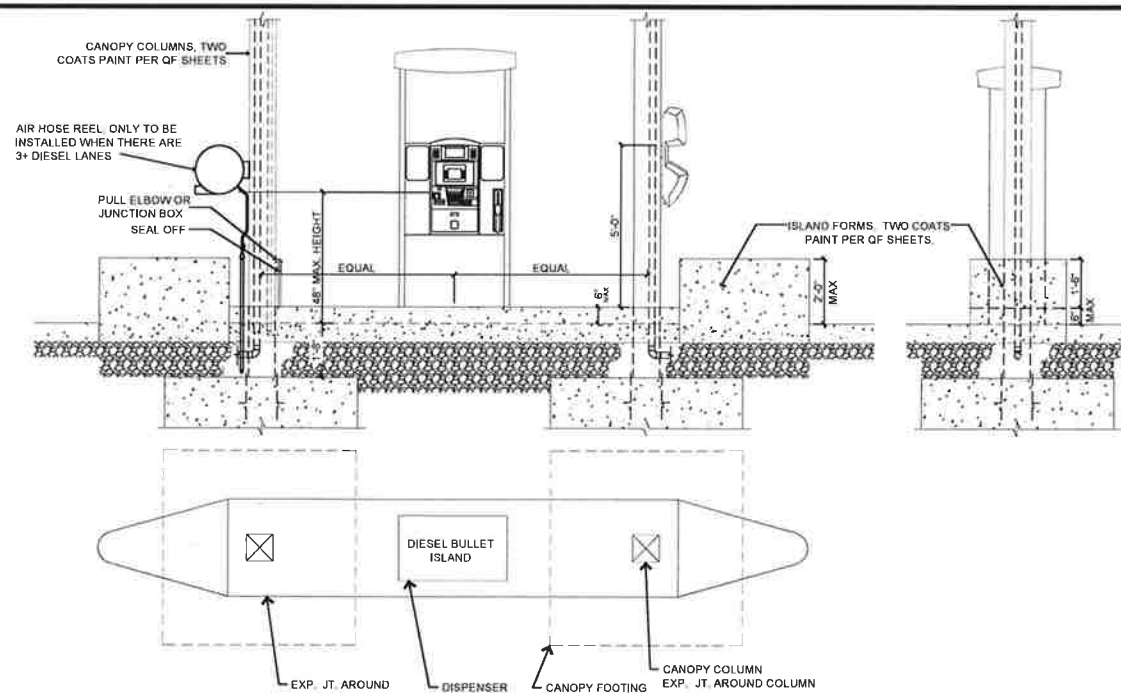
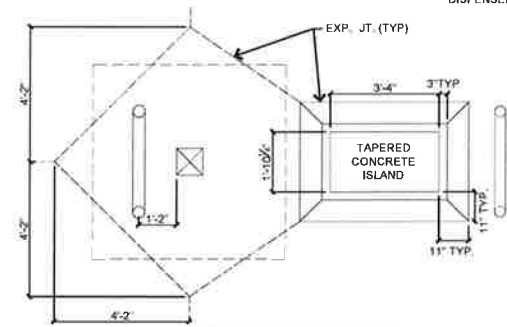
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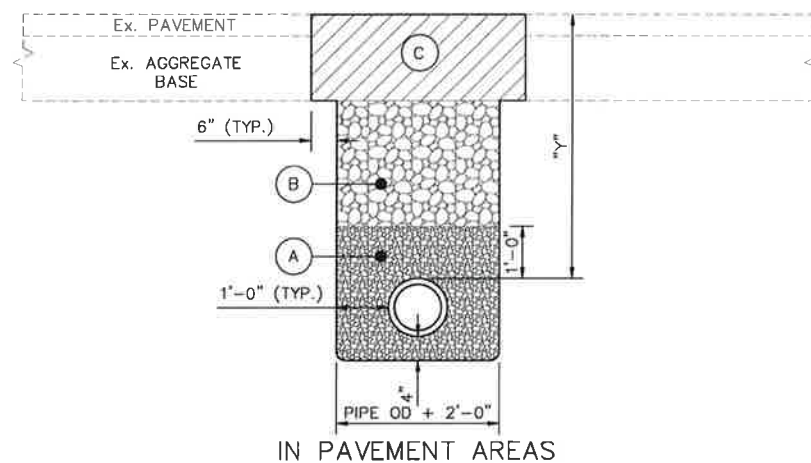
CASEY'S GENERAL STORE #4402
CITY OF BROOKVILLE
GENERAL NOTES

REVISIONS:

FILE NAME	C-601-SiteDetails
DRAWN BY	JCP
CHECKED BY	MLS
PROJECT No.	MOTBRO2309
DATE	11-06-2023
SHEET NUMBER	C-601



	Casey's	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., Ankeny, IA 50021 515-965-5100		
2023 Civil Details	DATE 01/10/23	CIVIL DETAILS
C-602		



NOTES

- (A) BEDDING SHALL BE PER ODOT 703.11 "STRUCTURAL BACKFILL FOR 611 BEDDING AND BACKFILL" TYPE 3 (#57 OR #67 AGGREGATE), OR OTHER APPROVED EQUIVALENT BY THE CITY OF CELINA. THERE SHALL BE 4" MIN. BEDDING BELOW THE PIPE. THE FOLLOWING BEDDING MATERIAL SHALL BE USED PER PROPOSED CONDUIT:
- WATER MAIN, WATER SERVICES, FIRE HYDRANTS AND APPURTENANCES - SHALL BE NATURAL CRUSHED STONE OR NATURAL GRAVEL.
 - STORM AND SANITARY SEWERS - SHALL BE CRUSHED LIMESTONE OR NATURAL CRUSHED STONE.

- (B). STRUCTURAL BACKFILL - DENSITY TEST TO 95% OF ASTM D698 STANDARD PROCTOR CURVE MAY BE REQUIRED BY CITY OF CELINA TO BE COMPLETED BY A CERTIFIED COMMERCIAL TESTING LABORATORY.

FOR "OUTSIDE PAVEMENT AREAS":

ALL TRENCHES WHERE "X" IS GREATER THAN "Z", THE BACKFILL MATERIAL SHALL BE COMPACTED NATIVE MATERIAL IN 12" MAXIMUM LIFTS OR AS APPROVED BY THE CITY OF CELINA. NO MATERIAL SHALL BE USED FOR BACKFILLING THAT CONTAINS STONE, ROCKS, ETC., GREATER THAN 3" DIAMETER.

ALL TRENCHES WHERE "Z" IS GREATER THAN "X", THE BACKFILL MATERIAL SHALL BE ODOT ITEM 703.11, TYPE 1 (#304 AGGREGATE). THE AGGREGATE SHALL BE COMPACTED IN 12" MAXIMUM LIFTS AND BE USED UNTIL THE BACKFILL HEIGHT RESULTS IN "X" BEING GREATER THAN "Z" AT WHICH TIME NATIVE BACKFILL CAN BE USED.

FOR "IN PAVEMENT AREAS":

ALL TRENCHES SHALL HAVE ODOT ITEM 703.11, TYPE 1 (#304 AGGREGATE) BACKFILL PLACED FROM THE TOP OF THE BEDDING TO THE BOTTOM OF THE ROADWAY BASE.

- C. ALL "OUTSIDE PAVEMENT AREAS" SHALL RECEIVE A MIN. OF 6" OF TOPSOIL OVER THE COMPACTED MATERIAL AND THEN SEEDED PER ODOT 659. ALL "IN PAVEMENT AREAS" SHALL FOLLOW THE CORRESPONDING PAVEMENT COMPOSITION PROVIDED IN THE HATCH LEGEND. THE TRENCH DETAIL SHOWS THE PAVEMENT REPAIR LIMITS. ANY PAVEMENT REPAIR BEYOND THIS WILL BE AT THE COST OF THE CONTRACTOR.

TRENCH DETAIL

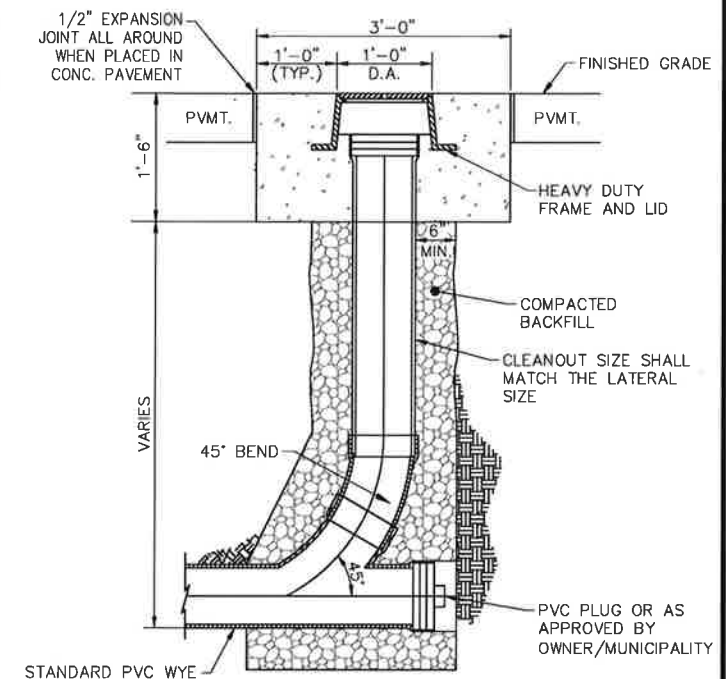
NTS

NOTES

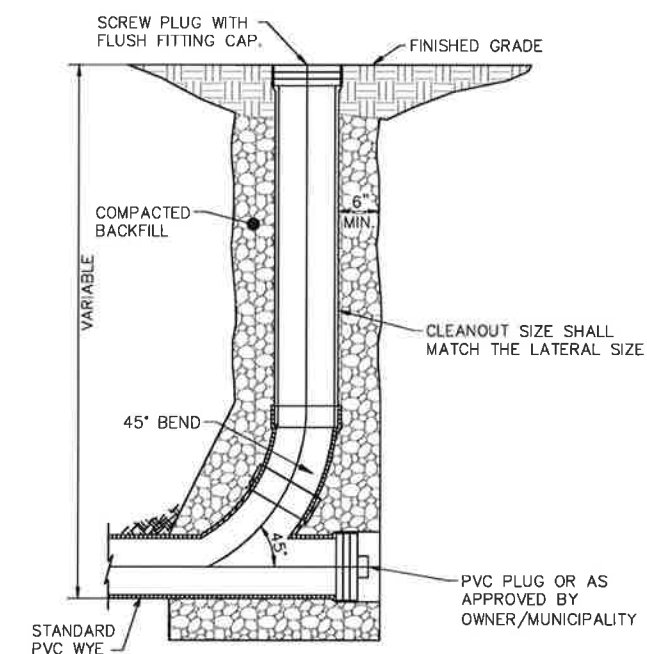
- A. CLEANOUT REQUIRED AT ALL R/W OR EASEMENT LINES.
- B. CLEANOUT MATERIALS SHALL BE SCHEDULE 40 GLUED JOINTS OR SDR-35 PVC MATCHING THE LATERAL PIPE SIZE DIAMETER.
- C. CLEANOUT FRAME AND LID SHALL BE EQUAL TO NEENAH R-1976 OR EJW 1578, HEAVY DUTY WITH THE LID MARKED "STORM"



CLEANOUT LID



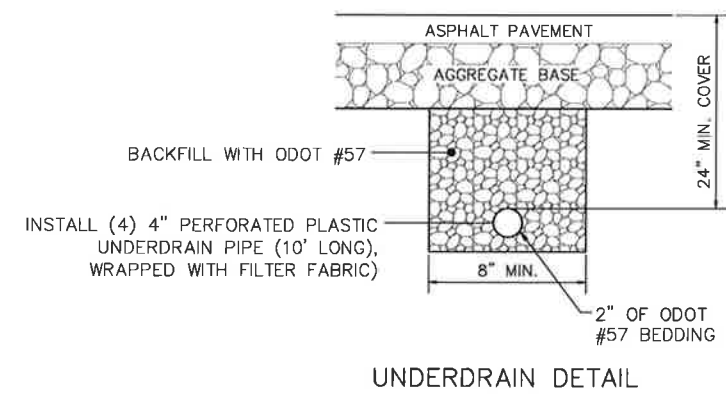
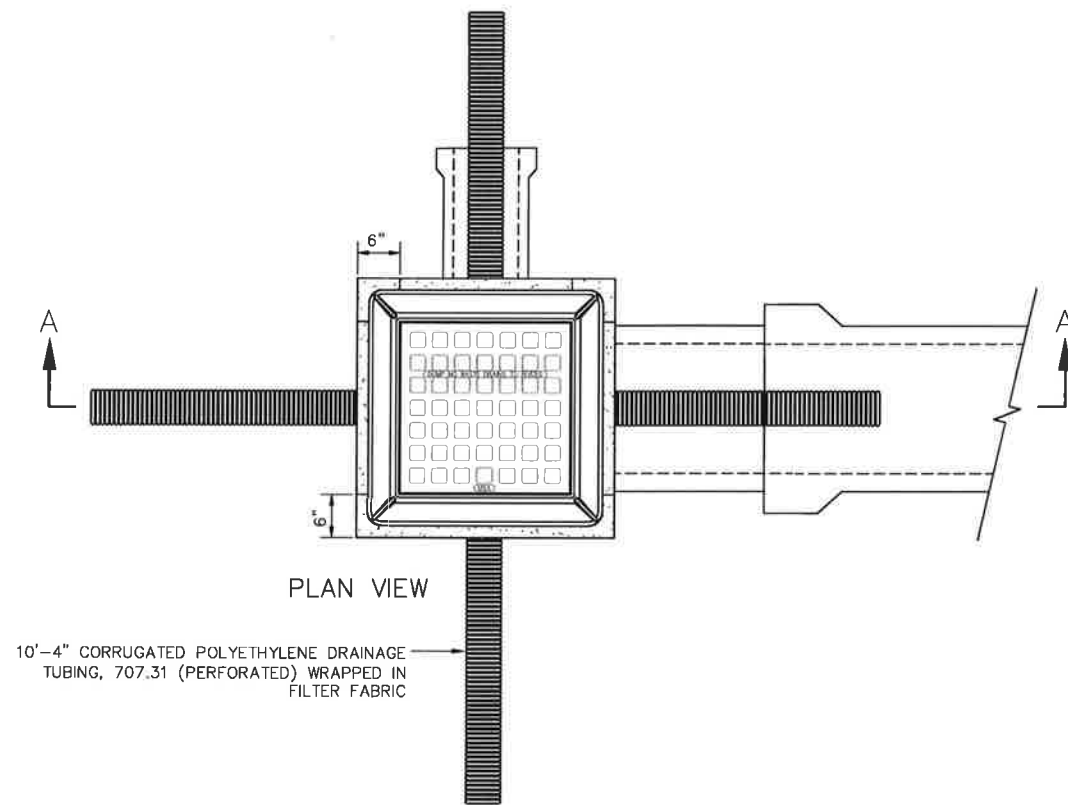
CLEANOUT (IN-PAVEMENT AREAS) DETAIL



CLEANOUT (NON-PAVEMENT AREAS) DETAIL

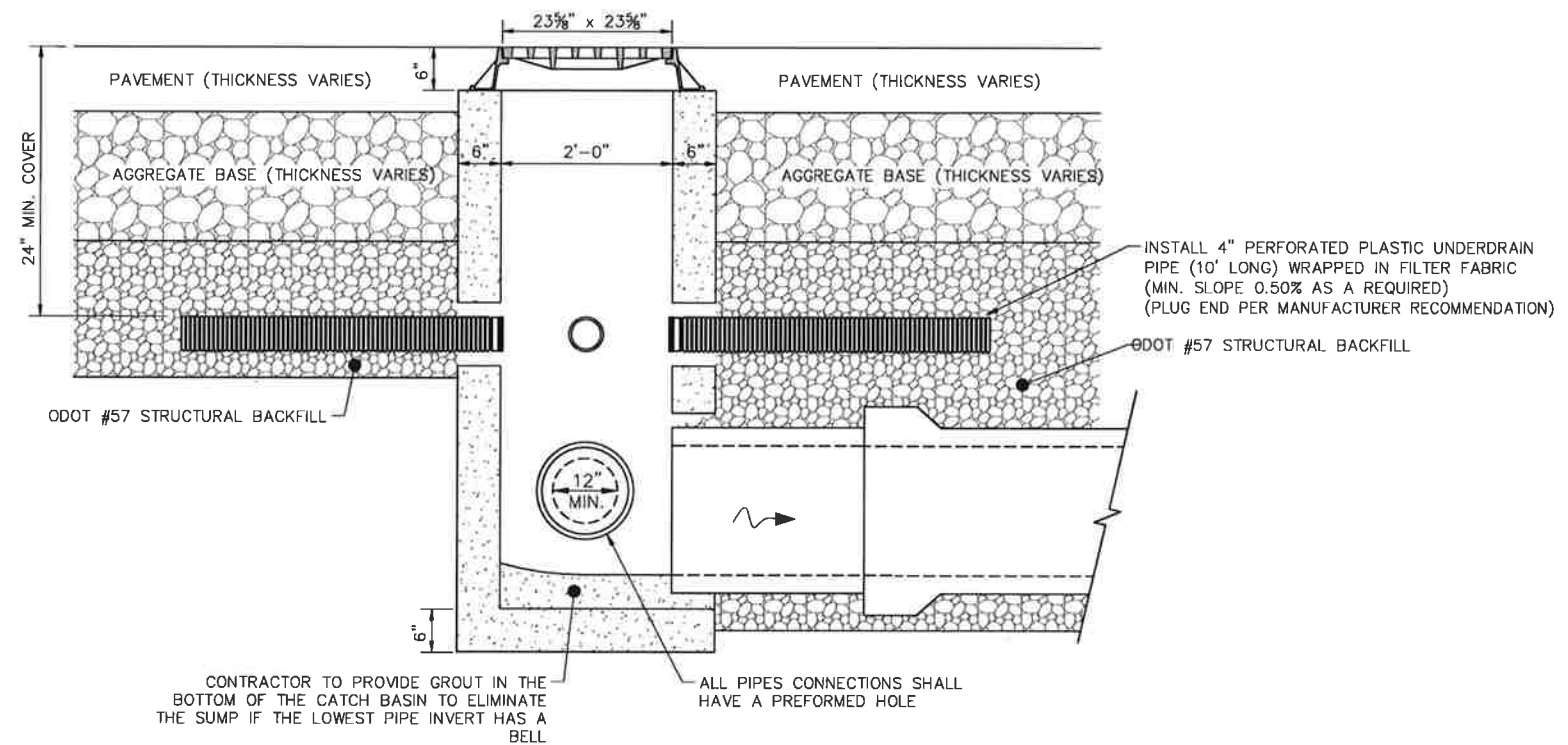
CLEANOUT DETAILS

NTS

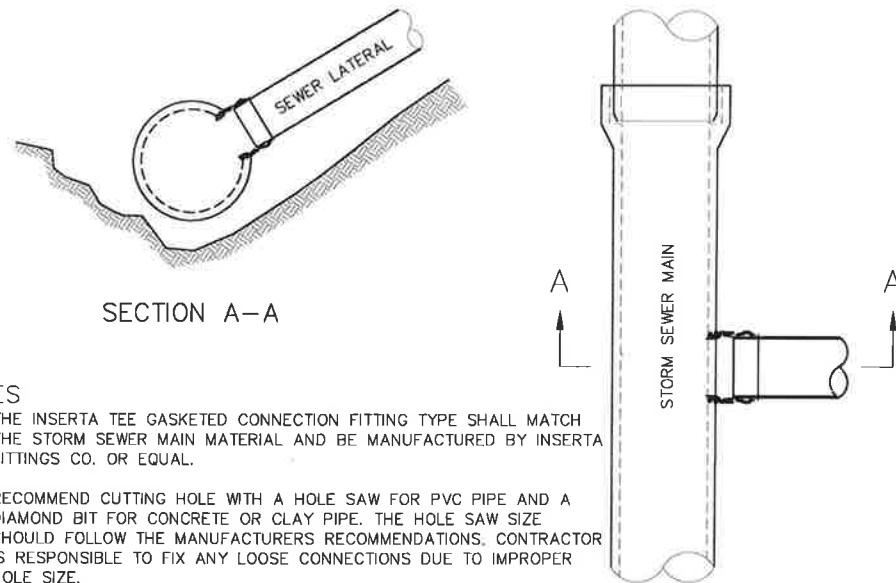


NOTES

- LOCATION AND ELEVATIONS WHEN GIVEN ON THE PLANS IS TOP CENTER OF THE GRATE. WHEN SIDE OPENINGS ARE PROVIDED, ELEVATION SHALL BE THE FLOW LINE OF THE SIDE INLET.
- CATCH BASINS INSTALLED IN PAVED AREAS SHALL BE PROVIDED WITH A FRAME AND GRATE MANUFACTURED BY NEENAH R-3405 OR EAST JORDAN IRON WORKS (FRAME 5250Z) AND GRATE (5250M).
- CONCRETE, CAST-IN-PLACE, TO BE ODOT QC-1. PRECAST CONSTRUCTION IS PERMITTED AND CONCRETE SHALL MEET THE REQUIREMENTS OF 706.13.
- CATCH BASIN SHALL ACCOMMODATE AN 18" OR SMALLER PIPE.
- PIPE TO INTRUDE INTO CATCH BASIN 1" MAXIMUM AND PIPE MUST BE CUT PARALLEL TO CATCH BASIN. CONTRACTOR TO USE NON-SHRINK GROUT COMPLETELY SEAL AROUND THE PIPE AND CATCH BASIN.
- THE CONTRACTOR SHALL ENSURE THE FRAME IS SECURELY BOLTED/FASTENED TO THE CATCH BASIN DURING INSTALLATION IN ALL PAVED AREAS (GRAVEL, ASPHALT AND CONCRETE).



2-2C CATCH BASIN (PAVED AREAS, WITH UNDERDRAINS)

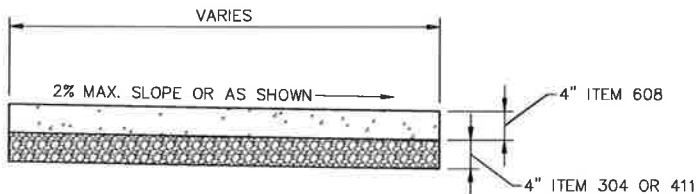


SECTION A-A

NOTES

- A. THE INSERTA TEE GASKETED CONNECTION FITTING TYPE SHALL MATCH THE STORM SEWER MAIN MATERIAL AND BE MANUFACTURED BY INSERTA FITTINGS CO. OR EQUAL.
- B. RECOMMEND CUTTING HOLE WITH A HOLE SAW FOR PVC PIPE AND A DIAMOND BIT FOR CONCRETE OR CLAY PIPE. THE HOLE SAW SIZE SHOULD FOLLOW THE MANUFACTURERS RECOMMENDATIONS, CONTRACTOR IS RESPONSIBLE TO FIX ANY LOOSE CONNECTIONS DUE TO IMPROPER HOLE SIZE.
- C. INSERTA TEES SHALL BE USED WHEREVER POSSIBLE AND BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

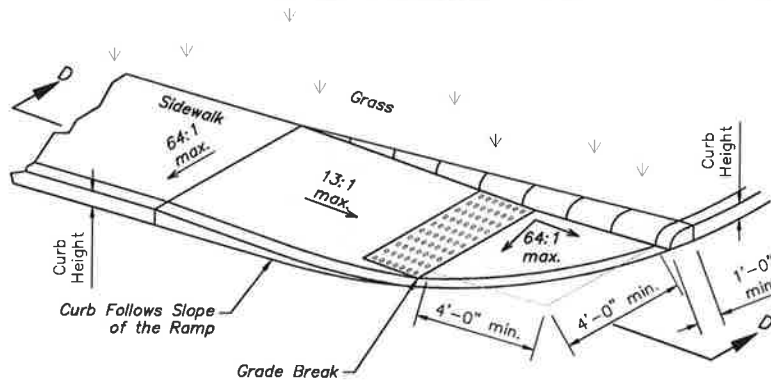
INSERTA TEE (LATERAL TO MAIN) CONNECTION
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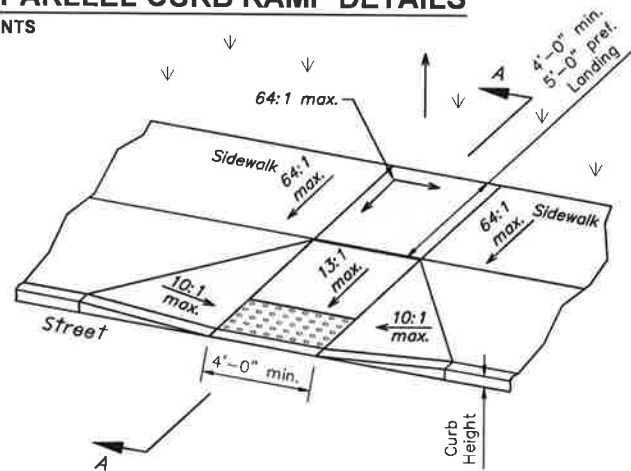
NOTES

- A. WALK TO BE POURED ON 4" MINIMUM ODOT #304 OR ODOT #411 AGGREGATE.
- B. PROVIDE EDGING AND BROOM FINISH TO ALL EXPOSED SURFACES.
- C. CONCRETE SHALL CONFORM TO ODOT ITEM 499 CONCRETE AND WORK SHALL CONFORM TO ODOT ITEM 608, UNLESS OTHERWISE SPECIFIED WITHIN.
- D. USE WHITE PIGMENTED CURING COMPOUND IMMEDIATELY AFTER FINISHING SURFACES. ANY OTHER METHOD OR TYPE OF CURING COMPOUND MUST BE PREAPPROVED.
- E. ALL CONCRETE SHALL BE ODOT QC-1P. (CEMENT ONLY - NO POZZOLAN MATERIAL).
- F. PROPOSED CONCRETE WALK SHALL BE JOINTED AS CLOSE TO SQUARE AS POSSIBLE. JOINT SPACING MAY VARY SLIGHTLY DEPENDING ON THE LENGTH AND WIDTH OF THE PROPOSED SIDEWALK AREAS. JOINT SPACING SHALL TYPICALLY RANGE FROM 4'X4' TO 10'X10'. IN ALL CASES THE SIDEWALK SHALL BE JOINTED SO THAT THE MAXIMUM ASPECT RATIO (OF PANEL LENGTH TO WIDTH) OF THE JOINTING IS 1.25:1 OR LESS. CONTRACTOR TO VERIFY METHOD AND TYPE OF CONTROL JOINTING WITH OWNER PRIOR TO PERFORMING WORK.
- G. SIDEWALK SHALL HAVE EXPANSION JOINTS EVERY 100'.
- H. CONCRETE TO INCLUDE 3 LBS/CY OF EITHER EUCLID CHEMICAL TUFSTRAND SF, FORTA FERRO SYNTHETIC MACROFIBERS OR APPROVED EQUIVALENT MEETING ASTM C 1116 TYPE 3, MINIMUM 2" LENGTH, ASPECT RATIO 50 TO 90. CONTRACTOR SHALL CONTACT THE FIBER MANUFACTURER'S SUPPLIER 48 HOURS PRIOR TO ORDERING THE FIRST BATCH OF CONCRETE FOR APPROPRIATE MIXING AND FINISHING PROCEDURES.

CONCRETE WALK
NTS



TYPE B3 (SINGLE SIDED PARALLEL)
PARALLEL CURB RAMP DETAILS
NTS



TYPE A1 (PERPENDICULAR WITH FLARED SIDES)
PERPENDICULAR CURB RAMP DETAILS
NTS

NOTES CONTINUED

THE RUNNING SLOPE OF THE CURB RAMP SHALL BE A 13:1 MAXIMUM OR FLATTER, IN EXISTING SIDEWALKS, WHERE THE MAXIMUM RAMP SLOPE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS (E.G. UTILITY POLES OR VAULTS, RIGHT-OF-WAY LIMITS) IT MAY BE REDUCED AS FOLLOWS:

- A) 10:1 FOR A MAX. RISE OF 6",
B) 8:1 FOR A MAX. RISE OF 3",
C) 6:1 OVER A MAX. RUN OF 2'-0" FOR HISTORIC AREAS WHERE A FLATTER SLOPE IS NOT FEASIBLE.

TO PREVENT CHASING THE GRADE INDEFINITELY, THE TRANSITION FROM EXISTING SIDEWALK TO THE SHADED CURB RAMP AREA IS NOT REQUIRED TO EXCEED 15 FEET IN LENGTH.

WHILE RAMPS MAY BE SKEWED TO THE CROSSWALK, THE ENTIRE LOWER LANDING AREA MUST FALL WITHIN THE CROSS WALK THAT THE RAMP SERVES AND CANNOT BE LOCATED IN THE TRAVELED LANE OF OPPOSING TRAFFIC.

THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, LANDING, OR BLENDED TRANSITIONS SHALL BE 20:1 OR FLATTER.

THE BOTTOM EDGE OF THE RAMP SHALL CHANGE PLANES PERPENDICULAR TO THE LANDING.

THE EDGE OF THE CURB SHALL BE FLUSH WITH THE EDGE OF THE ADJACENT PAVEMENT AND GUTTER AND SURFACE SLOPES THAT MEET GRADE BREAKS SHALL ALSO BE FLUSH.

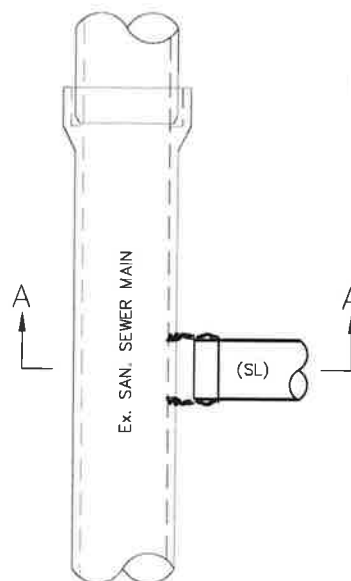
RAMP LANDINGS SHALL BE 4' MIN. X 4' MIN. WITH A 64:1 OR FLATTER CROSS SLOPE AND RUNNING SLOPE.

DETECTABLE WARNINGS: INSTALL DETECTABLE WARNINGS ON EACH CURB RAMP WITH APPROVED MATERIALS, AS SHOWN ON SHEET 3. INSTALL THESE PROPRIETARY PRODUCTS AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

DRAINAGE: CONTRACTOR IS TO ENSURE THE BASE OF EACH CONSTRUCTED CURB RAMP ALLOWS FOR PROPER DRAINAGE, WITHOUT EXCEEDING ALLOWABLE CROSS SLOPE OR RAMP SLOPES. VERTICAL CHANGE IN LEVEL EXCEEDING 1/8" BETWEEN THE 1) PAVEMENT AND GUTTER, AND 2) GUTTER AND RAMP, ARE NOT ALLOWED.

SURFACE TEXTURE: TEXTURE CONCRETE SURFACES BY COARSE BROOMING TRANSVERSE TO THE RAMP SLOPES TO BE ROUGHER THAN THE ADJACENT WALK.

JOINTS: PROVIDE EXPANSION JOINTS IN THE CURB RAMP AS EXTENSIONS OF WALK JOINTS AND CONSISTENT WITH ITEM 608.03 REQUIREMENTS FOR A NEW CONCRETE WALK. PROVIDE A 1/2" ITEM 705.03 EXPANSION JOINT FILLER AROUND THE EDGE OF RAMPS BUILT IN EXISTING CONCRETE WALKS. LINES SHOWN ON THIS DRAWING INDICATE THE RAMP EDGES AND SLOPE CHANGES, AND DO NOT NECESSARILY INDICATE JOINT LINES.



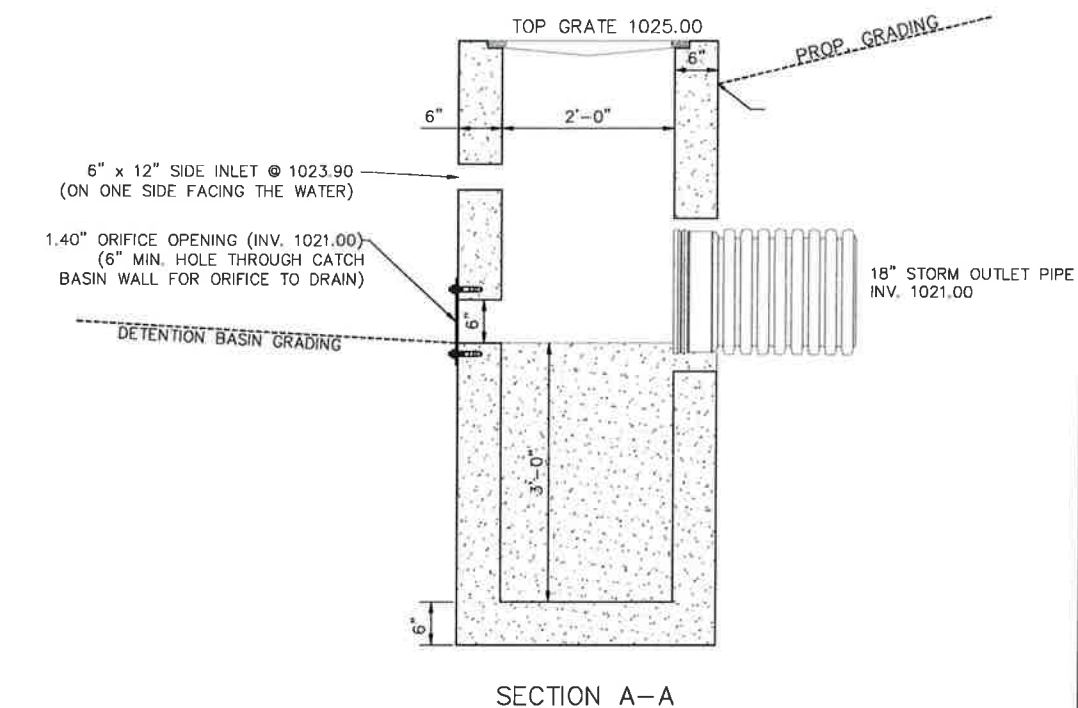
Ex. SEWER MAIN LATERAL CONNECTION
(INSERTA TEE)

NOTES

- A. THE INSERTA TEE GASKETED CONNECTION FITTING TYPE SHALL MATCH THE SANITARY SEWER MAIN MATERIAL (PVC SDR-35 OR SDR-26) AND BE MANUFACTURED BY FOWLER MANUFACTURING OR EQUAL.
- B. RECOMMENDED METHOD OF HOLE CUTTING HOLE WITH A HOLE SAW FOR (PVC SDR-35 AND SDR-26) PIPE. THE HOLE SAW SIZE SHOULD FOLLOW THE MANUFACTURERS RECOMMENDATIONS. CONTRACTOR IS RESPONSIBLE TO FIX ANY LOOSE CONNECTIONS DUE TO IMPROPER HOLE SIZE.
- C. INSERTA TEES SHALL BE USED WHEREVER POSSIBLE AND BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



SECTION A-A



A. GRATE SHALL BE NEENAH CATALOG NO. R-4871 (TYPE B GRATE) OR EQUIVALENT. CONTRACTOR SHALL FASTEN/BOLT DOWN GRATE TO STRUCTURE TO ENSURE GRATE IS SECURELY FASTENED IN PLACE.

B. PRECAST STRUCTURE CONSTRUCTION IS REQUIRED, UNLESS OTHERWISE APPROVED, AND CONCRETE SHALL MEET THE REQUIREMENTS OF 706.13. CAST-IN-PLACE CONCRETE IN THE FIELD WILL BE ALLOWED FOR SUMP ELIMINATION/ANTI-FLOATATION.

Technical drawing of a catch basin showing top and side views with dimensions and notes.

Top View Dimensions:

- Overall width: 8"
- Overall height: 8"
- Inner width: DIMENSION "A"
- Inner height: DIMENSION "B"
- Inner diameter: DIMENSION "C"

Notes:

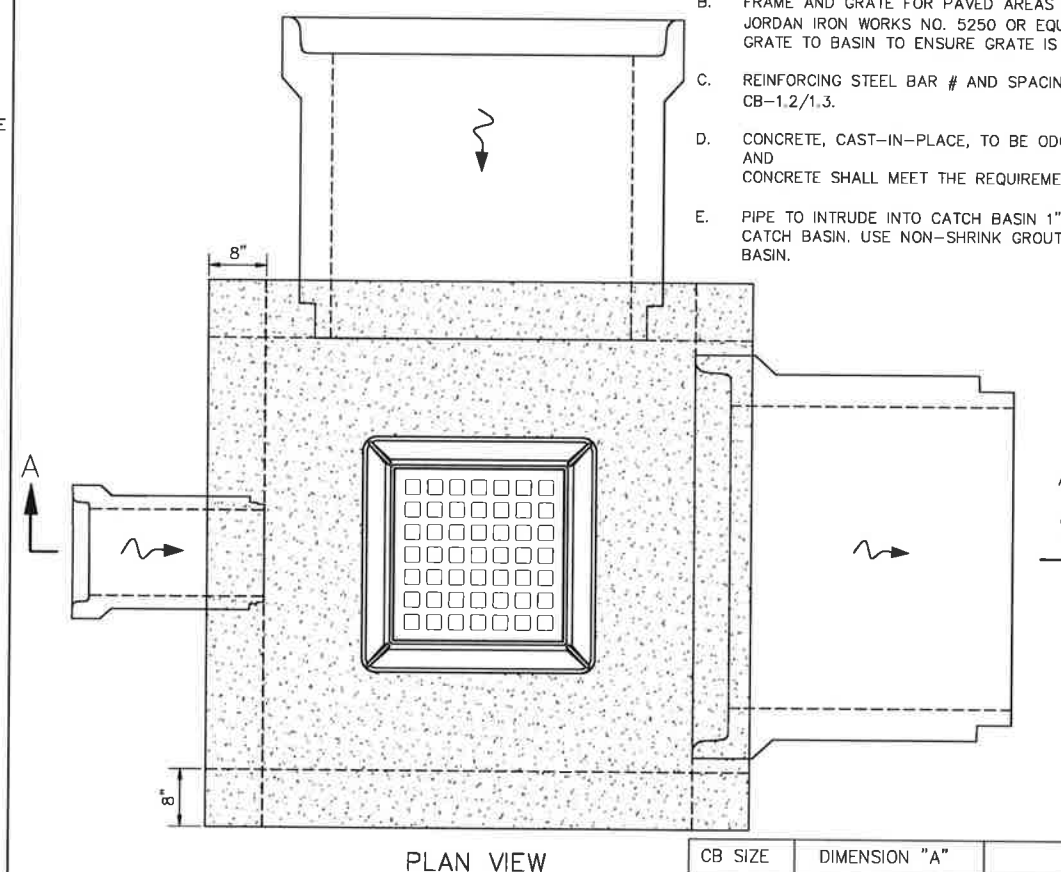
- CONTRACTOR IS ALLOWED TO CUT THE BELL END OF THE PIPE OFF IN ORDER TO FIT INTO CATCH BASIN
- CONTRACTOR TO PROVIDE NON-SHRINK GROUT IN THE BOTTOM OF THE CATCH BASIN TO ELIMINATE THE SUMP IF THE LOWEST PIPE INVERT HAS A BELL

Grate Specifications:

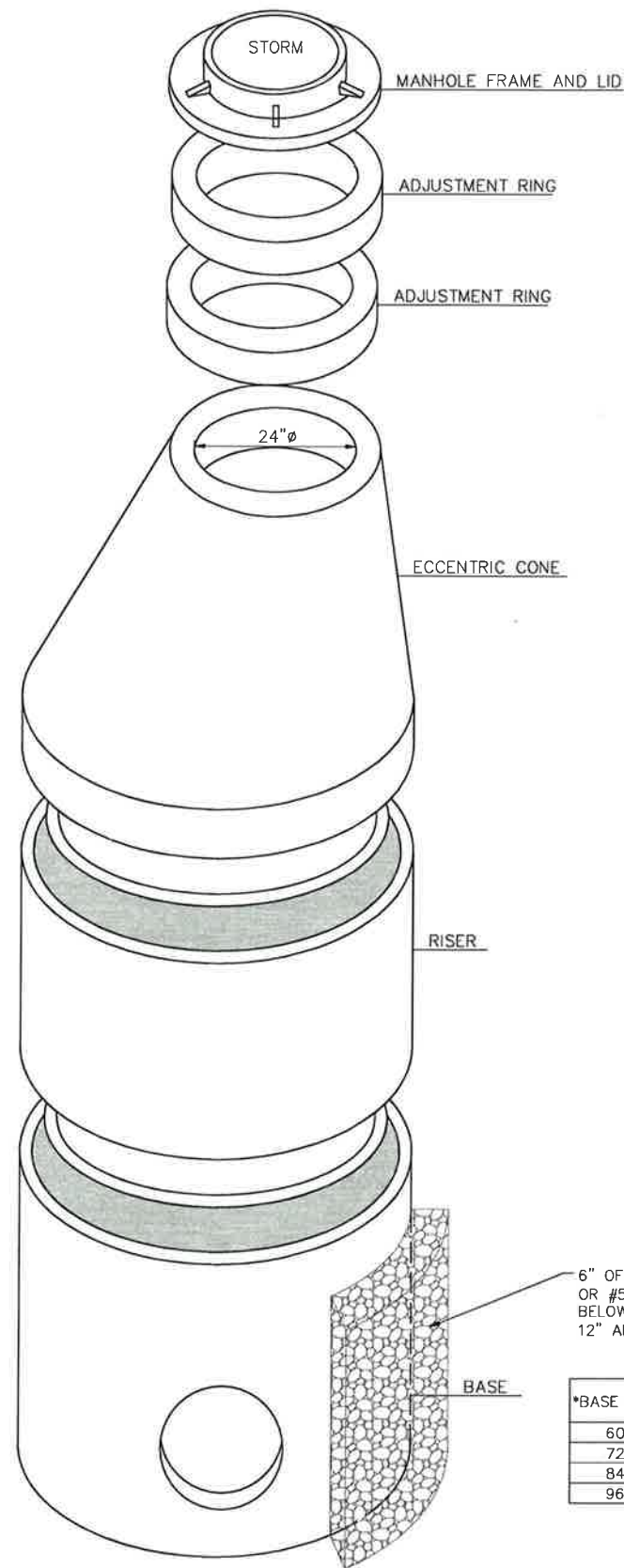
- 2-2C FRAME/GRATE
- NEENAH R-3405-W (TYPE H GRATE)
- EJW NO. 5250 (TYPE M GRATE)
- Grate dimensions: 23 3/8" x 23 3/8" and 32 3/4" x 32 3/4"

NOTES

- A. LOCATION AND ELEVATIONS WHEN GIVEN ON THE PLANS IS TOP CENTER OF THE GRATE.
- B. FRAME AND GRATE FOR PAVED AREAS SHALL BE NEENAH CATALOG NO. R-3405 OR EAST JORDAN IRON WORKS NO. 5250 OR EQUIVALENT. CONTRACTOR SHALL FASTEN/BOLT DOWN GRATE TO BASIN TO ENSURE GRATE IS SECURELY FASTENED IN PLACE.
- C. REINFORCING STEEL BAR # AND SPACING IN TOP SLAB SHALL FOLLOW ODOT SCD CB-1.2/1.3.
- D. CONCRETE, CAST-IN-PLACE, TO BE ODOT QC 1. PRECAST CONSTRUCTION IS PERMITTED AND CONCRETE SHALL MEET THE REQUIREMENTS OF 706.13.
- E. PIPE TO INTRUDE INTO CATCH BASIN 1" MAXIMUM AND PIPE MUST BE CUT PARALLEL TO CATCH BASIN. USE NON-SHRINK GROUT AROUND PIPE TO SEAL BETWEEN PIPE AND CATCH BASIN.



CB SIZE	DIMENSION "A"	DIMENSION "B"	DIMENSION "C"
2-3	3'-0" x 3'-0"	2'-0" x 2'-0" (2-2C GRATE)	12" - 24"
2-4	4'-0" x 4'-0"	2'-0" x 2'-0" (2-2C GRATE)	12" - 36"



48" DIA. MANHOLE
FOR 30" & SMALLER PIPE
(*SEE TABLE FOR PIPE SIZES GREATER THAN 30")

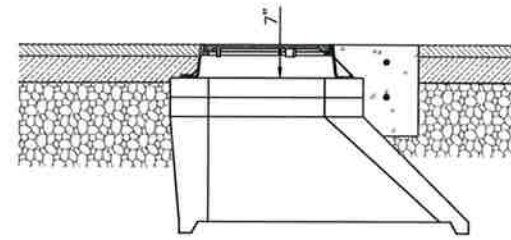
NO. 3 STORM MANHOLE

*BASE I.D.	MIN "t" WALL THICKNESS	MAXIMUM PIPE SIZE
60"	5"	36"
72"	6"	48"
84"	7"	54"
96"	8"	60"

NEENAH R-2370 TYPE G



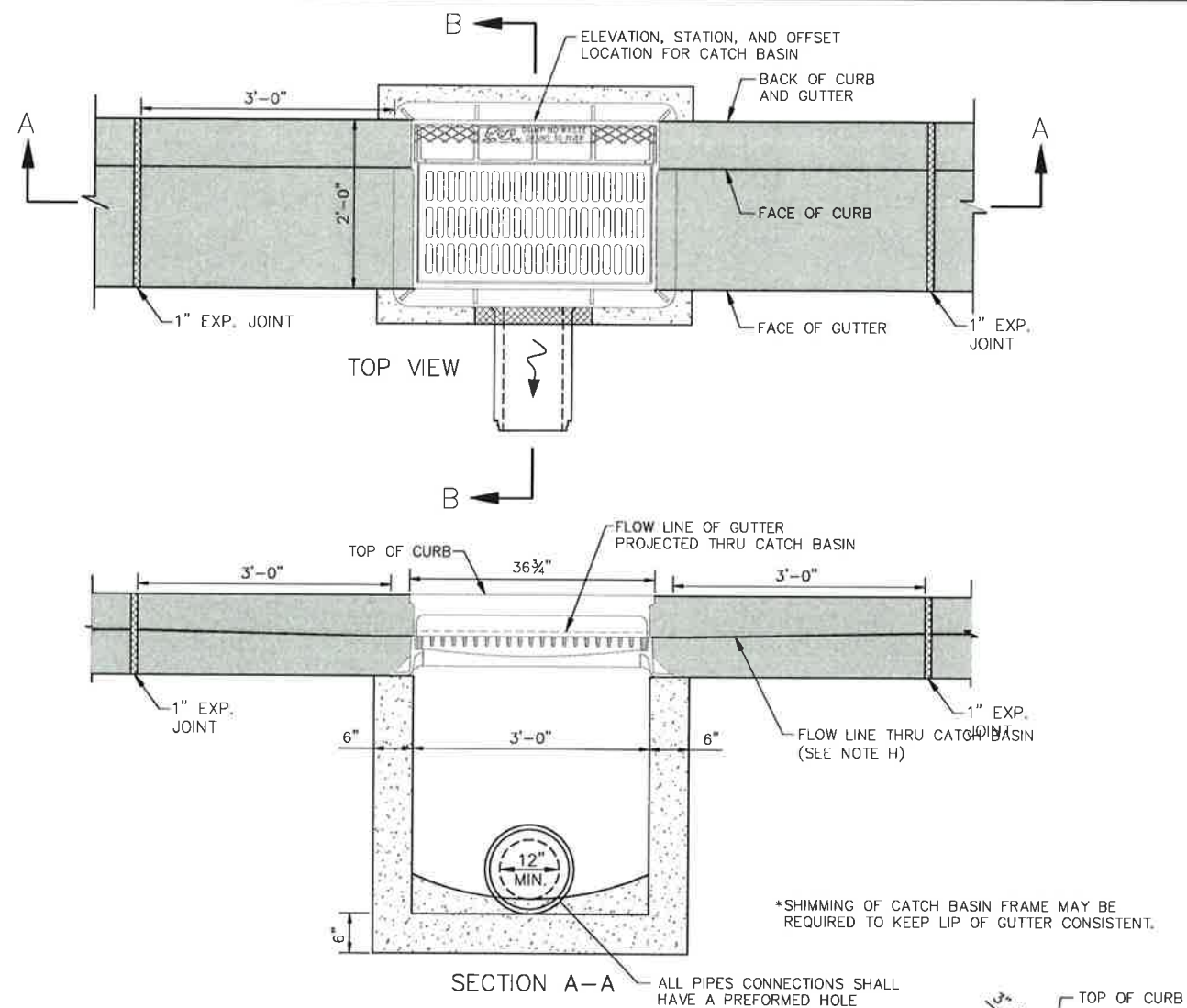
GRADED LID SHALL BE USED
IF CALLED OUT IN THE
PLANS



MANHOLE IN PAVEMENT

NOTES

- EACH STORM SEWER MANHOLE SHALL BE CONSTRUCTED PER ODOT'S NO. 3 MANHOLE STANDARD CONSTRUCTION DRAWINGS WITH THE FOLLOWING MODIFICATIONS:
- MANHOLE FRAME SHALL BE EQUAL TO NEENAH R-1642 OR EAST JORDAN IRON WORKS 1040Z. MANHOLE LID/COVER SHALL BE EQUAL TO NEENAH R-1642, TYPE B, SOLID LID OR EAST JORDAN IRON WORKS 1040A, SOLID LID. THE LID/COVER SHALL HAVE "STORM" STAMPED ON IT. FOR A GRATED LID PROVIDE NEENAH R-2370 TYPE G OR EQUAL. A RUBBER SEAL OR MASTIC SEAL BETWEEN THE MANHOLE FRAME AND TOP SECTION OF ADJUSTING RINGS IS REQUIRED.
- PRECAST ADJUSTMENT RINGS SHALL BE 2" MIN. AND 12" MAX. NO MORE THAN TWO ADJUSTMENT RINGS OR A HEIGHT GREATER THAN 16" WILL BE ALLOWED. ADJUSTMENT RINGS TO BE GROUTED OR IF OUT OF PAVEMENT, USE CONSEAL CS-102 SEALANT OR EQUIVALENT.
- TOP AND TRANSITION (OR REDUCER) SECTIONS SHALL BE AN ECCENTRIC CONE WITH THE OPTION OF USING A FLAT SLAB IF SITE CONDITIONS REQUIRE IT.
- ALL PIPES INTRUDING INTO THE MANHOLE SHALL BE AS MINIMAL AS POSSIBLE TO ALLOW FOR A PROPER SEAL WITH NON-SHRINK GROUT.
- CONNECTIONS BETWEEN STORM SEWER AND PRECAST MANHOLE SECTIONS SHALL BE COMPLETED WITH NON-SHRINK GROUT, HAND PLACED, SMOOTHED AND BRUSHED ON BOTH SIDES OF THE CONNECTION.
- JOINTS BETWEEN PRECAST MANHOLE SECTIONS SHALL BE SEALED WITH AN O-RING GASKET MEETING ASTM SPEC. 443. JOINTS TO BE KEPT TO A MINIMUM.
- DUE TO PIPE ORIENTATION, LARGER DIAMETER PRECAST MANHOLE BASE SECTIONS MAY BE REQUIRED. CONTRACTOR AND PRECAST SUPPLIER TO VERIFY MANHOLE DIAMETER (SEE CHART BELOW).



NOTES

- INLET FRAME SHALL BE NEENAH R-3067 OR EAST JORDAN IRON WORKS 7030Z1 OR EQUIVALENT.
- CURB BOX/HOOD, FOR TYPE 2 COMBINATION CURB AND GUTTER, SHALL BE NEENAH R-3067 CURB BOX (3" RADIUS) OR EAST JORDAN IRON WORKS TYPE T4
- CATCH BASINS IN DRIVE APPROACHES (TO BE AVOIDED, IF POSSIBLE) SHALL BE PROVIDED WITH A CURB PLATE INSTEAD OF A CURB BOX (NEENAH R-3067 WITH CURB PLATE) OR EQUAL.
- STANDARD GRATE SHALL BE NEENAH TYPE A, OR EQUIVALENT. ALL BAR EDGES TO BE ROUNDED 1/8" RADIUS.
- CONCRETE, CAST-IN-PLACE, TO BE ODOT QC 1. PRECAST CONSTRUCTION IS PERMITTED AND CONCRETE SHALL MEET THE REQUIREMENTS OF 706.13.
- EXPANSION JOINTS SHALL BE PER ODOT 705.03, AASHTO M153, VINYL RUBBER MATERIAL MANUFACTURED BY RIGHT/POINTE, W.R. MEADOWS, OSCODA PLASTICS OR EQUAL AND BE INSTALLED AS INDICATED IN THE DETAIL.
- PIPE TO INTRUDE INTO CATCH BASIN 1" MAXIMUM AND PIPE MUST BE CUT PARALLEL TO CATCH BASIN. USE NON-SHRINK GROUT AROUND PIPE TO SEAL BETWEEN PIPE AND CATCH BASIN.
- DROP FLOW LINE 1/2" WITHIN THE 3'-0" BLOCK OUT OF COMBINED CURB AND GUTTER WHILE KEEPING LIP OF GUTTER CONSISTENT WITH TOP OF CURB.
- ALL GRATES SHALL BE BICYCLE SAFE.

SECTION B-B

TYPE 1 CATCH BASIN

REVISIONS:

FILE NAME
GME

DRAWN BY
JCP

CHECKED BY
MLS

PROJECT No.
MOTBRO2309

DATE
11-06-2023

SHEET NUMBER

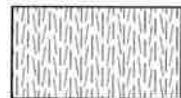
C-607

IRRIGATION NOTE:
ALL SODDED AREAS TO BE IRRIGATED
WITH THE IRRIGATION SYSTEM HAVING ITS
OWN METER. THE IRRIGATION SYSTEM IS
TO BE DESIGNED BY THE CONTRACTOR.

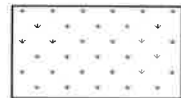
LEGEND



EVERGREEN TREE (40 TOTAL)



5,819 SF SOD



41,370 SF SEEDING

GENERAL NOTES

- PLANTS INSTALL 3" LAYER OF SHREDDED WOOD BARK MULCH TO ALL PLANT BEDS.
- ALL PLANTS OCCURRING IN A CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT AND SPREAD AND HABIT OF GROWTH.
- ALL SHRUB BEDS SHALL BE EXCAVATED AND BACKFILLED AS SHOWN.

SCALE IN FEET
0 15 30 60



SIDNEY, OHIO 937.497.0200
LOVELAND, OHIO 513.239.8554
WWW.CHOICEONEENGINEERING.COM

CASEY'S GENERAL STORE #4402 CITY OF BROOKVILLE LANDSCAPE PLAN

REVISIONS:

FILE NAME
LANDSCAPE PLAN

DRAWN BY
JCP

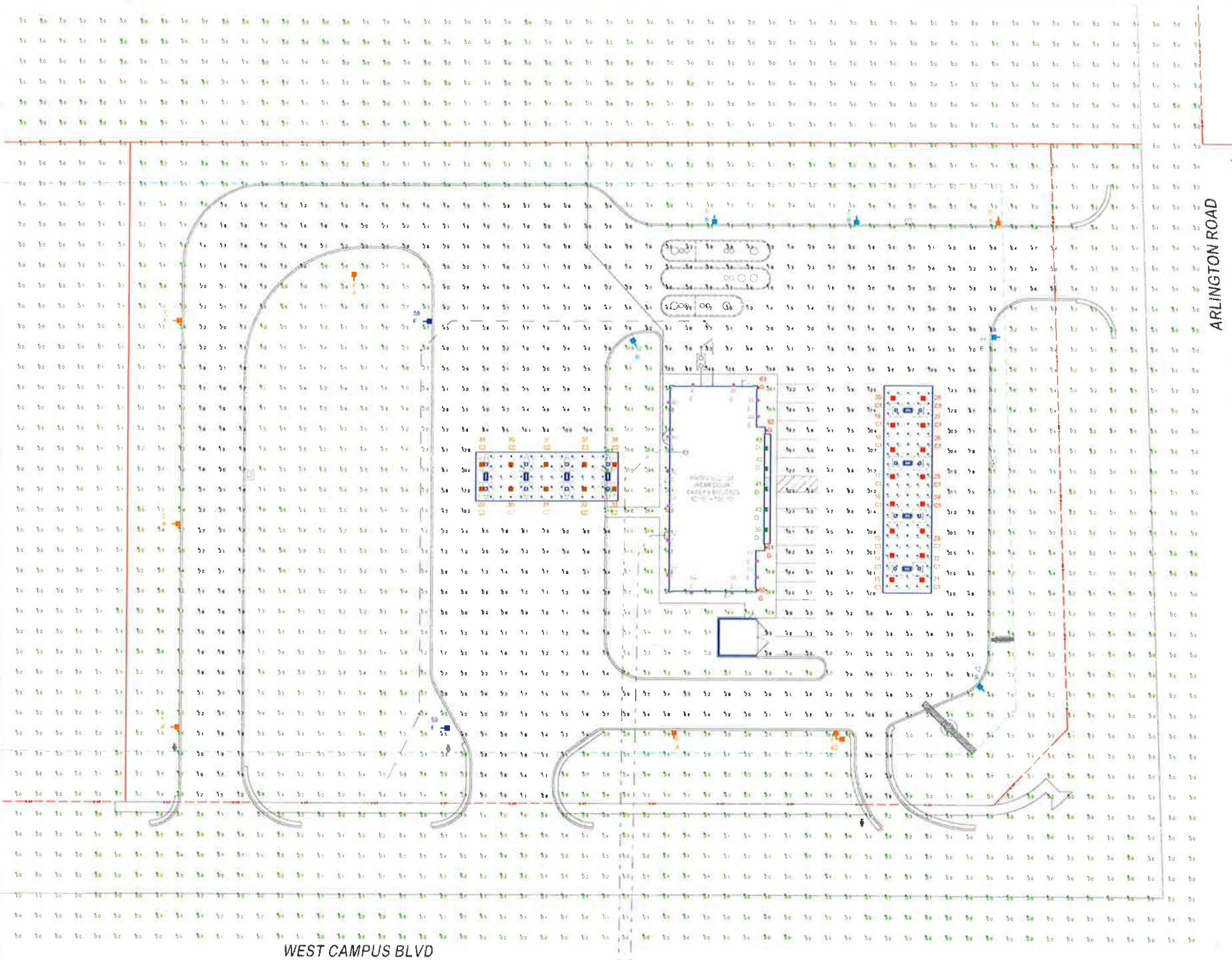
CHECKED BY
MLS

PROJECT No.
MOTBRO2309

DATE
11-06-2023

SHEET NUMBER

C-701



WEST CAMPUS BLVD

ARLINGTON ROAD

NOTES:
- ALL AREA LIGHTS IN THE GAS AREA ARE ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES.
- ALL AREA LIGHTS IN THE DIESEL AREA ARE ON NEW 30 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES.

- THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A	32
2	A	32
3	A	32
4	A	32
5	A	17
6	A	17
7	A2	17
8	B	17
9	B	17
10	B	17
11	B	17
12	B	17
13 - 28	C1	16.5
29 - 38	C2	16.5
39 - 43	D	10
44 - 57	E	13
58	F	32
59	F	32
60 - 63	G	8.75

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
01_UNDER CANOPY_GAS	43.22	55	29	1.49	1.90
02_UNDER CANOPY_DIESEL	33.17	49	19	1.75	2.58
03_PAVED AREA	4.00	21.4	0.4	10.00	53.50
04_UNDEFINED AREA	0.92	37.5	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	CATALOG LOGIC
	6	A	SINGLE	10450	1.020	B2-U0-G2	97	582	OSQ-ML-C-DA-XX + OSQM-C-16L-57K7-3B-UL-NM-XX-Q9
	1	A2	2 @ 90 DEGREES	10450	1.020	B2-U0-G2	97	194	OSQ-ML-C-DA-XX + OSQM-C-16L-57K7-3B-UL-NM-XX-Q9
	5	B	SINGLE	9575	1.020	B2-U0-G2	97	485	OSQ-ML-C-DA-XX + OSQM-C-16L-57K7-4B-UL-NM-XX-Q9
	16	C1	SINGLE	13518	1.020	B3-U3-G2	81	1296	CP5-13L-57K7-DF-UL-DM-XX-Q9 + CP5-BZ-SP-XX
	10	C2	SINGLE	13518	1.020	B3-U3-G2	81	810	CP5-13L-57K7-DF-UL-DM-XX-Q9 + CP5-BZ-SP-XX
	5	D	SINGLE	3902	1.030	B2-U0-G0	34	170	SFT-228-PS-RM-03-E-UL-XX-350-IC-57K
	14	E	SINGLE	10190	1.030	B3-U0-G3	101	1414	SEC-EDG-3M-WM-06-E-UL-XX-525-57K
	2	F	SINGLE	20900	1.020	B3-U0-G3	131	262	OSQ-ML-C-DA-XX + OSQM-C-22L-57K7-4M-UL-NM-XX-Q9
	4	G	SINGLE	2849	1.000	B2-U5-G0	53	212	FCC618W-UNV-930-1515L-BRE-D15U15-LD

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1340 Kemper Meadow Dr, Forest Park, OH 45240
513-574-9500 | redleonard.com

SCALE
1" = 30'

LAYOUT BY
RCF

DWG SIZE
D

DATE
11/07/2023

PROJECT NAME
CASEY'S #4402
BROOKVILLE, OH
DRAWING NUMBER
RL-9268-S1



QTY	LABEL	DESCRIPTION
AREA		
6	A	OSQ-ML-C-DA-XX + OSQM-C-16L-57K7-3B-UL-NM-XX-Q9
1	A2	OSQ-ML-C-DA-XX + OSQM-C-16L-57K7-3B-UL-NM-XX-Q9
5	B	OSQ-ML-C-DA-XX + OSQM-C-16L-57K7-4B-UL-NM-XX-Q9
2	F	OSQ-ML-C-DA-XX + OSQ-L-C-22L-57K7-4M-UL-NM-XX-Q9

ADDITIONAL FIXTURE INFO

OSQ Series

OSQ™ LED Area Fixtures are the most advanced lighting technology available.

Product Description:
The OSQ™ LED Area Fixtures are the most advanced lighting technology available. They are designed to provide uniform, high-quality lighting for a wide range of applications. The fixtures are available in a variety of sizes and configurations to meet your specific needs. They are also available in a variety of finishes to match your decor.

Performance Summary:
The OSQ™ LED Area Fixtures are designed to provide uniform, high-quality lighting for a wide range of applications. They are available in a variety of sizes and configurations to meet your specific needs. They are also available in a variety of finishes to match your decor.

Ordering Information:
The OSQ™ LED Area Fixtures are available in a variety of sizes and configurations to meet your specific needs. They are also available in a variety of finishes to match your decor.

Area	Size	Power	Output	Beam Angle	Mounting	Finish	Notes
OSQ-ML-C-DA-XX	16" x 16"	15W	1500lm	60°	Surface Mount	White	Standard
OSQ-ML-C-DA-XX	24" x 24"	25W	2500lm	60°	Surface Mount	White	Standard
OSQ-ML-C-DA-XX	36" x 36"	40W	4000lm	60°	Surface Mount	White	Standard
OSQ-ML-C-DA-XX	48" x 48"	60W	6000lm	60°	Surface Mount	White	Standard
OSQ-ML-C-DA-XX	60" x 60"	80W	8000lm	60°	Surface Mount	White	Standard

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

QTY	LABEL	DESCRIPTION
CANOPY		
16	C1	CP5-13L-57K7-DF-UL-DW-XX-Q9 + CP5-BZ-SP-XX
10	C2	CP5-13L-57K7-DF-UL-DW-XX-Q9 + CP5-BZ-SP-XX

ADDITIONAL FIXTURE INFO

CPY500™ Series

CPY500™ LED Area Fixtures are the most advanced lighting technology available.

Product Description:
The CPY500™ LED Area Fixtures are the most advanced lighting technology available. They are designed to provide uniform, high-quality lighting for a wide range of applications. The fixtures are available in a variety of sizes and configurations to meet your specific needs. They are also available in a variety of finishes to match your decor.

Performance Summary:
The CPY500™ LED Area Fixtures are designed to provide uniform, high-quality lighting for a wide range of applications. They are available in a variety of sizes and configurations to meet your specific needs. They are also available in a variety of finishes to match your decor.

Ordering Information:
The CPY500™ LED Area Fixtures are available in a variety of sizes and configurations to meet your specific needs. They are also available in a variety of finishes to match your decor.

Area	Size	Power	Output	Beam Angle	Mounting	Finish	Notes
CPY500-ML-C-DA-XX	16" x 16"	15W	1500lm	60°	Surface Mount	White	Standard
CPY500-ML-C-DA-XX	24" x 24"	25W	2500lm	60°	Surface Mount	White	Standard
CPY500-ML-C-DA-XX	36" x 36"	40W	4000lm	60°	Surface Mount	White	Standard
CPY500-ML-C-DA-XX	48" x 48"	60W	6000lm	60°	Surface Mount	White	Standard
CPY500-ML-C-DA-XX	60" x 60"	80W	8000lm	60°	Surface Mount	White	Standard

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

QTY	LABEL	DESCRIPTION
SOFFIT		
5	D	SFT-22B-PS-RM-03-E-UL-XX-350-IC-57K

ADDITIONAL FIXTURE INFO

228 Series™

LED Soffit Luminaire - IC Rated

Product Description:
The 228 Series™ LED Soffit Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The 228 Series™ LED Soffit Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The 228 Series™ LED Soffit Luminaire is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Area	Size	Power	Output	Beam Angle	Mounting	Finish	Notes
228-ML-C-DA-XX	16" x 16"	15W	1500lm	60°	Surface Mount	White	Standard
228-ML-C-DA-XX	24" x 24"	25W	2500lm	60°	Surface Mount	White	Standard
228-ML-C-DA-XX	36" x 36"	40W	4000lm	60°	Surface Mount	White	Standard
228-ML-C-DA-XX	48" x 48"	60W	6000lm	60°	Surface Mount	White	Standard
228-ML-C-DA-XX	60" x 60"	80W	8000lm	60°	Surface Mount	White	Standard

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

QTY	LABEL	DESCRIPTION
WALL MOUNTED		
14	E	SEC-EDG-3M-WM-06-E-UL-XX-525-57K

ADDITIONAL FIXTURE INFO

THE EDGE® Series

LED Security Wall Pack Luminaire

Product Description:
The THE EDGE® Series LED Security Wall Pack Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The THE EDGE® Series LED Security Wall Pack Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The THE EDGE® Series LED Security Wall Pack Luminaire is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Area	Size	Power	Output	Beam Angle	Mounting	Finish	Notes
THE-EDGE-ML-C-DA-XX	16" x 16"	15W	1500lm	60°	Surface Mount	White	Standard
THE-EDGE-ML-C-DA-XX	24" x 24"	25W	2500lm	60°	Surface Mount	White	Standard
THE-EDGE-ML-C-DA-XX	36" x 36"	40W	4000lm	60°	Surface Mount	White	Standard
THE-EDGE-ML-C-DA-XX	48" x 48"	60W	6000lm	60°	Surface Mount	White	Standard
THE-EDGE-ML-C-DA-XX	60" x 60"	80W	8000lm	60°	Surface Mount	White	Standard

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

QTY	LABEL	DESCRIPTION
WALL MOUNTED		
4	G	FCC600-WM-930-1515L-BRE-015U15-LD

ADDITIONAL FIXTURE INFO

FCC600 Up/Down or Up, Standard Drivers without Battery Backup

Product Description:
The FCC600 Up/Down or Up, Standard Drivers without Battery Backup is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The FCC600 Up/Down or Up, Standard Drivers without Battery Backup is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The FCC600 Up/Down or Up, Standard Drivers without Battery Backup is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Area	Size	Power	Output	Beam Angle	Mounting	Finish	Notes
FCC600-ML-C-DA-XX	16" x 16"	15W	1500lm	60°	Surface Mount	White	Standard
FCC600-ML-C-DA-XX	24" x 24"	25W	2500lm	60°	Surface Mount	White	Standard
FCC600-ML-C-DA-XX	36" x 36"	40W	4000lm	60°	Surface Mount	White	Standard
FCC600-ML-C-DA-XX	48" x 48"	60W	6000lm	60°	Surface Mount	White	Standard
FCC600-ML-C-DA-XX	60" x 60"	80W	8000lm	60°	Surface Mount	White	Standard

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

Product Specifications

1500 LUMENS MAXIMUM OUTPUT

Product Description:
The 1500 LUMENS MAXIMUM OUTPUT is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The 1500 LUMENS MAXIMUM OUTPUT is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The 1500 LUMENS MAXIMUM OUTPUT is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

Product Specifications

CPY500™ LED Canopy Luminaire - Dwell Mount

Product Description:
The CPY500™ LED Canopy Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The CPY500™ LED Canopy Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The CPY500™ LED Canopy Luminaire is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

Product Specifications

228 Series™ LED Soffit Luminaire - IC Rated

Product Description:
The 228 Series™ LED Soffit Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The 228 Series™ LED Soffit Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The 228 Series™ LED Soffit Luminaire is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

Product Specifications

THE EDGE® LED Security Wall Pack Luminaire

Product Description:
The THE EDGE® LED Security Wall Pack Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The THE EDGE® LED Security Wall Pack Luminaire is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The THE EDGE® LED Security Wall Pack Luminaire is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

Product Specifications

FCC600 Up/Down or Up, Standard Drivers without Battery Backup

Product Description:
The FCC600 Up/Down or Up, Standard Drivers without Battery Backup is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Performance Summary:
The FCC600 Up/Down or Up, Standard Drivers without Battery Backup is designed to provide uniform, high-quality lighting for a wide range of applications. It is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

Ordering Information:
The FCC600 Up/Down or Up, Standard Drivers without Battery Backup is available in a variety of sizes and configurations to meet your specific needs. It is also available in a variety of finishes to match your decor.

CREE LIGHTING

1800.276.4800
Canada: 1.800.276.4800

REDLEONARD ASSOCIATES

1340 Kemper Meadow Dr., Forest Park, OH 45424
513-574-9500 redleonard.com

ANY SITE PLANS, FLOOR PLANS, ELEVATIONS, LIGHTING LAYOUTS AND PHOTOGRAPHIC PLANS INCLUDING BUT NOT LIMITED TO ANY PROJECTS CREATED/PRODUCED BY REDLEONARD ASSOCIATES INC., ARE ONLY INTENDED FOR ILLUSTRATION AND QUOTING PURPOSES ONLY. REDLEONARD ASSOCIATES HAS THE RIGHT TO USE THIS PARTY LABEL, SCANNERS AND CAMERAS BUT ACTUAL PROJECT CONDITIONS, DIMENSIONS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THESE OR ANY PARAMETERS. REDLEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE CREATIONS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION OF AND/OR PRIORITY OF EXISTING AUTOMATED, SURROUNDING AREA FOR PROJECTS (SUCH AS EXISTING POLES, ANCHOR BOLTS, BARNEN, ARCHITECTURAL AND SCENIC STRUCTURES), LANDSCAPING PLANS, LIGHTING PLANS, FLOOR PLANS, ELEVATIONS AND PLACEMENT, MATERIALS, COLOR ACCURACY, TEXTURES AND PHOTOGRAPHY THAT IS CREATED. FURTHERMORE, REDLEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY WHATSOEVER FOR ANY PURCHASES MADE BY CLIENT BEFORE, DURING, OR AT THE CONCLUSION OF THE PROJECT. THE CUSTOMER'S RELIANCE ON THESE DRAWINGS, AS WELL AS ANY OTHER PERSONS' VIEWING OF THIS PROJECT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY BUT NOT LIMITED TO ALL CODES, PERMITS, RESTRICTIONS, INSTRUCTIONS, PURCHASES AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THE DOCUMENTS OR PROJECTS. SYMBOLS ARE NOT DRAWN TO SCALE. SIZE IS FOR CLARITY PURPOSES ONLY. SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY REDLEONARD DRAWINGS OR PROJECTS IS NOT TO BE USED AND/OR INTENDED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATIVE PURPOSES ONLY. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY REDLEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAMES L. LEONARD IS STRICTLY PROHIBITED.

PROJECT NAME
CASEY'S #4402
BROOKVILLE, OH
DRAWING NUMBER
RL-9268-S1

Casey's



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

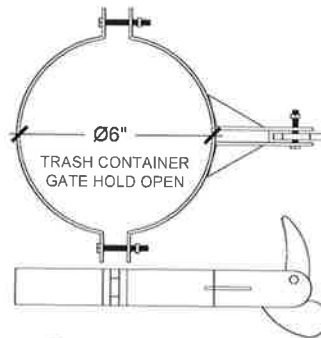


BACK ELEVATION



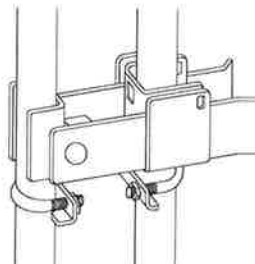
LEFT ELEVATION

CHAIN LINK SPECIFICATIONS			
FRAMEWORK	O.D.	WALL	LBS/LF
TOP RAIL	1 5/8"	.111	1.84
MID RAIL	1 5/8"	.111	1.84
BOTTOM RAIL	1 5/8"	.111	1.84
LINE POSTS	2 1/2"	.130	3.12
CORNER POST	3"	.160	4.64
END POST	3"	.160	4.64
MAIN GATE POSTS	6"	.280	
GATE FRAME	1 5/8"	.111	1.84
SERVICE GATE TYPE	3 FT. 6 IN. WIDE		
GAW MATERIAL 2" MESH 9 GAUGE COMMERCIAL VINYL/PLASTIC VERTICAL (BROWN) SLATS			

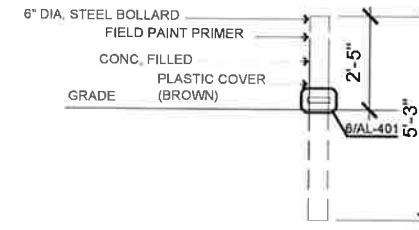


6 Gate Open Holder
No Scale

COMMERCIAL STRONG ARM DOUBLE GATE LATCH OR EQUIVALENT
CONTRACTOR TO PROVIDE AND INSTALL



7 Commercial Double Gate Latch Detail
No Scale



8 Bollard Detail
No Scale

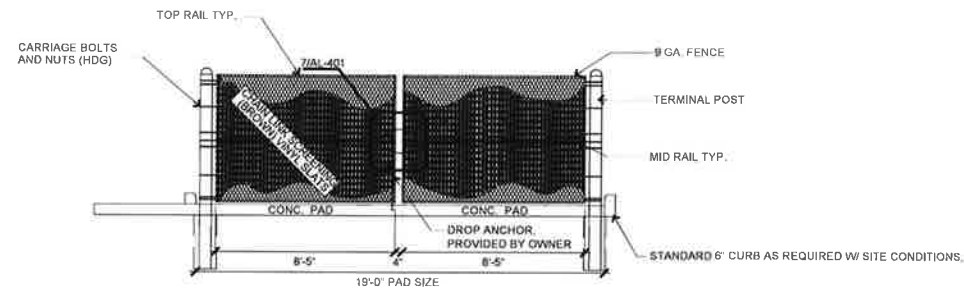
General Notes

1. RELATED SHEETS FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS

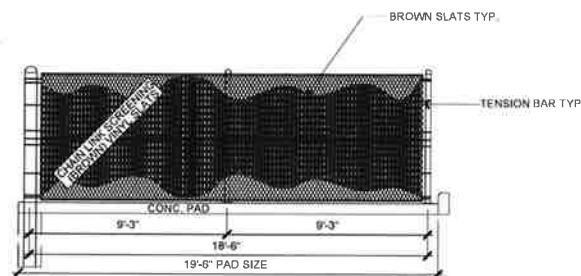
G-001 FOR GENERAL PROJECT NOTES
AL101 FOR GENERAL SITE PLAN

Construction Notes

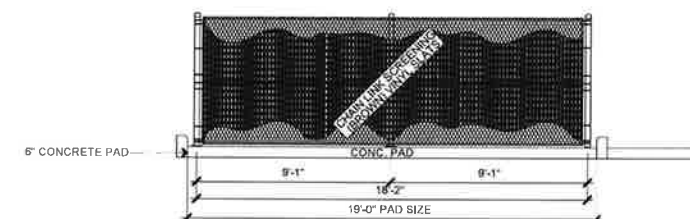
- 1) ALL DOMES ON FENCE POSTS ARE TO BE FASTENED SO THAT THEY CAN NOT BE REMOVED.
- 2) VERIFY SCREENING WITH LOCAL AUTHORITY.
- 3) CONTRACTOR TO PRIME ALL 6" BOLLARDS PRIOR TO FINISHED PAINT COAT.



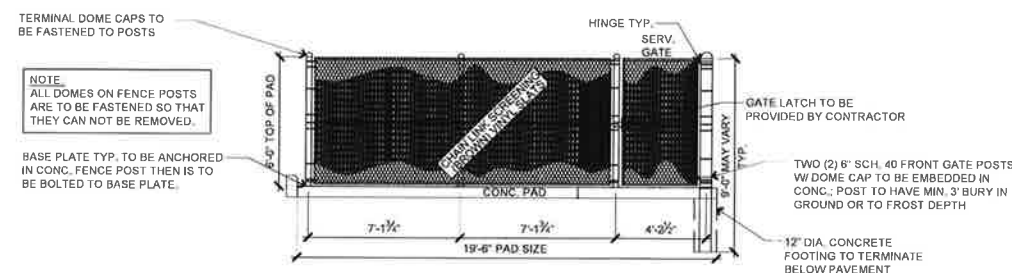
5 Dumpster Enclosure - Elevation
1/4" = 1'-0"



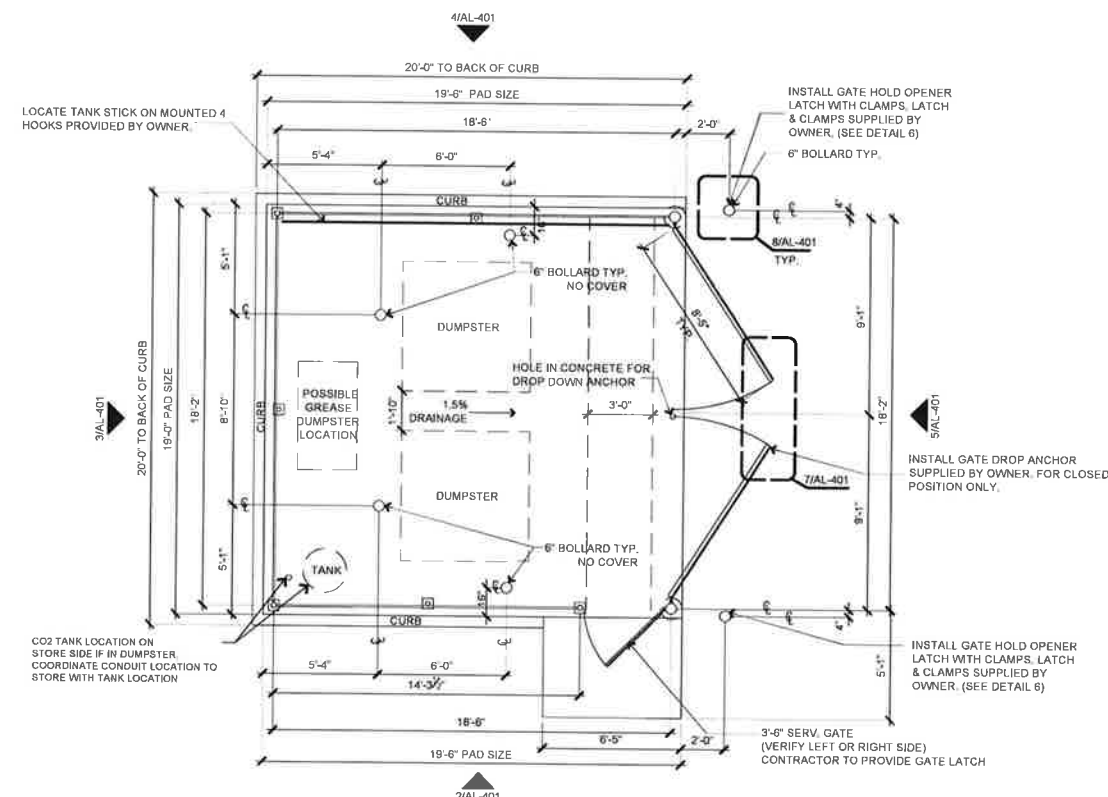
4 Dumpster Enclosure - Elevation
1/4" = 1'-0"



3 Dumpster Enclosure - Elevation
1/4" = 1'-0"



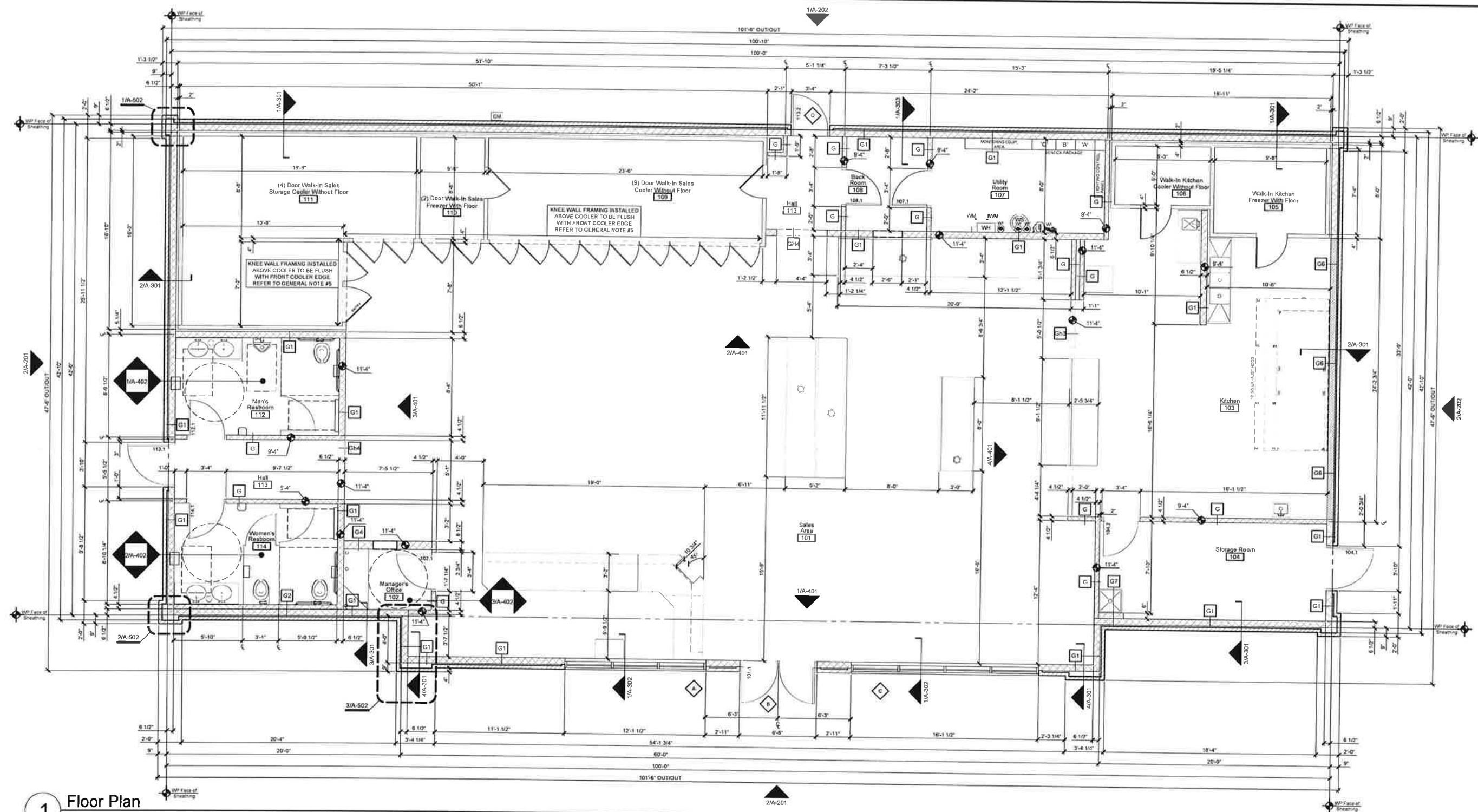
2 Dumpster Enclosure - Elevation
1/4" = 1'-0"



1 Dumpster Plan
1/4" = 1'-0"

Chain Link Enclosure

CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., Ankeny, IA 50021 515-965-8100	
2023 Standard Site Details	DUMPSTER ENCLOSURE



1 Floor Plan
1/4"=1'-0"

General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES.
- RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:
 - A-100: WALL BLOCKING PLAN AND NOTES
 - A-601: DOOR, WINDOW & FINISH SCHEDULES AND NOTES
 - A-701: FLOOR FINISH PLAN
 - AQ-101: EQUIPMENT AND FIXTURE INSTALLATION PLAN AND SCHEDULE
 - S-101: FOOTINGS AND FOUNDATIONS PLAN
 - S-102: FIRST FLOOR BEARING WALL AND SHEAR WALL FRAMING
 - P-101: COORDINATE WITH UNDER SLAB SANITARY WORK
 - P-102: COORDINATE WITH UNDER SLAB PLUMBING WORK
- WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS.
- INDICATES WALL AND HEADER HEIGHTS
- KNEE WALL FRAMING ABOVE COOLER / FREEZER TO BE INSTALLED FLUSH WITH FRONT FACE OF COOLER / FREEZER.
- WINDOW FRAME ELEVATIONS - REFER TO PLAN SHEET A-601, DETAIL 1
- DOOR TYPES - REFER TO PLAN SHEET A-601, DETAIL 2

Framing Notes

- FRAMING INSTRUCTIONS:
 - 1.1 ALL PERIMETER FRAMED WALLS, 2x6 WD STUDS @ 16" OC, VERIFY HEIGHTS, INSULATED WITH 6"x15" WIDE FRICTION FIT INSULATION, EXCEPT AS DIRECTED BY KEYED NOTES.
 - 1.2 FRONT WALL SAME AS ABOVE, EXCEPT 2x6 WD STUDS, SEE STRUCTURAL DRAWINGS FOR FRAMING ELEVATION AND DETAILS.
 - 1.3 ALL INTERIOR FRAMED PARTITION WALLS, 2x4 WD STUDS @ 16" OC, VERIFY HEIGHTS, EXCEPT AS DIRECTED BY KEYED NOTES.
 - 1.4 ALL FRAMING MATERIAL CONSTRUCTION GRADE OR BETTER.
 - 1.5 USE TREATED (WOLMANIZED) BOTTOM PLATE, WHEREVER MEETS CONCRETE. SEAL TO CONC FLOOR WITH CONSTRUCTION ADHESIVE.
 - 1.6 ALL BACKING/BLOCKING 2x6, FLUSH W/ ROUGH FRAMING, HEIGHTS INDICATED ON PLANS (OR @ xx") ARE FROM FLOOR (AFF) CENTER OF BLOCKING.
 - 1.7 EXTERIOR NON-COMBUSTIBLE WALL, 2x6, 18 GAGE STEEL STUDS, ENTIRE END WALL, USING STEEL TOP AND BOTTOM PLATES.
- SEAL ALL CABINETS AND SALES COUNTER TO FLOOR.
- H.V.A.C. EQUIPMENT INSTALLED BY CASEY'S PROVIDED INSTALLERS.
- ALL EXTERIOR WALLS ARE SUPPLIED BY OWNER
- ALL INTERIOR WALL MATERIALS SUPPLIED WITH BUILDING PACKAGE TO BE BUILT BY CONTRACTOR ON-SITE.

Key - Wall Type

- G 3 1/2" WOOD STUD (TYPICAL UNLESS NOTED OTHERWISE), RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL.
- G1 5 1/2" WOOD STUD, RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL.
- G2 3 1/2" WOOD STUD FUR OUT OF EXTERIOR WALL FOR PLUMBING.
- G3 5 1/2" METAL STUD, RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL.
- G4 7 1/2" WOOD STUD, RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL.
- G5 3 1/2" METAL STUD HOOD WALL FRAMED TO BOTTOM OF TRUSS, RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIALS.
- G6 5-1/2" NON-COMBUSTIBLE METAL STUD WALL FRAMED TO BOTTOM OF TRUSS, RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL.
- G7 5 1/2" WOOD STUD, FUR OUT OF EXTERIOR WALL FOR PLUMBING.
- Gh1 5 1/2" WOOD STUD, FINISH HEIGHT = 5'-2" A.F.F., CORNER BEAD ALL OUTSIDE CORNERS. WOOD CAP AND COVE ON TOP OF WALL.
- Gh2 3 1/2" WOOD STUD SHEAR WALL, SHEET BOTH SIDES WITH 1/2" OSB.
- Gh3 2"x4" WOOD FLOOR TYPE TRUSS BEAM SUPPLIED BY STRUCTURAL COMPONENT SYSTEMS, CONTRACTOR TO SHEET SALES AREA SIDE WITH 3/4" PLYWOOD BEFORE FINISHING, RE: A-601, FINISH SCHEDULE FOR WALL FINISH MATERIAL, RE: A-601, DETAIL 4 & 6, INTERIOR ELEVATIONS.
- Gh4 3 1/2" WOOD STUD (FRAMING HEIGHT 7'-5") BULKHEAD BUILT ACROSS OPENINGS FOR GRAPHICS ATTACHMENT, FACE BOTH SIDES, REFER TO FINISH SCHEDULE

MEMORANDUM:

DATE: NOVEMBER 10, 2023

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

RE: HILTON HOTEL BROOKVILLE

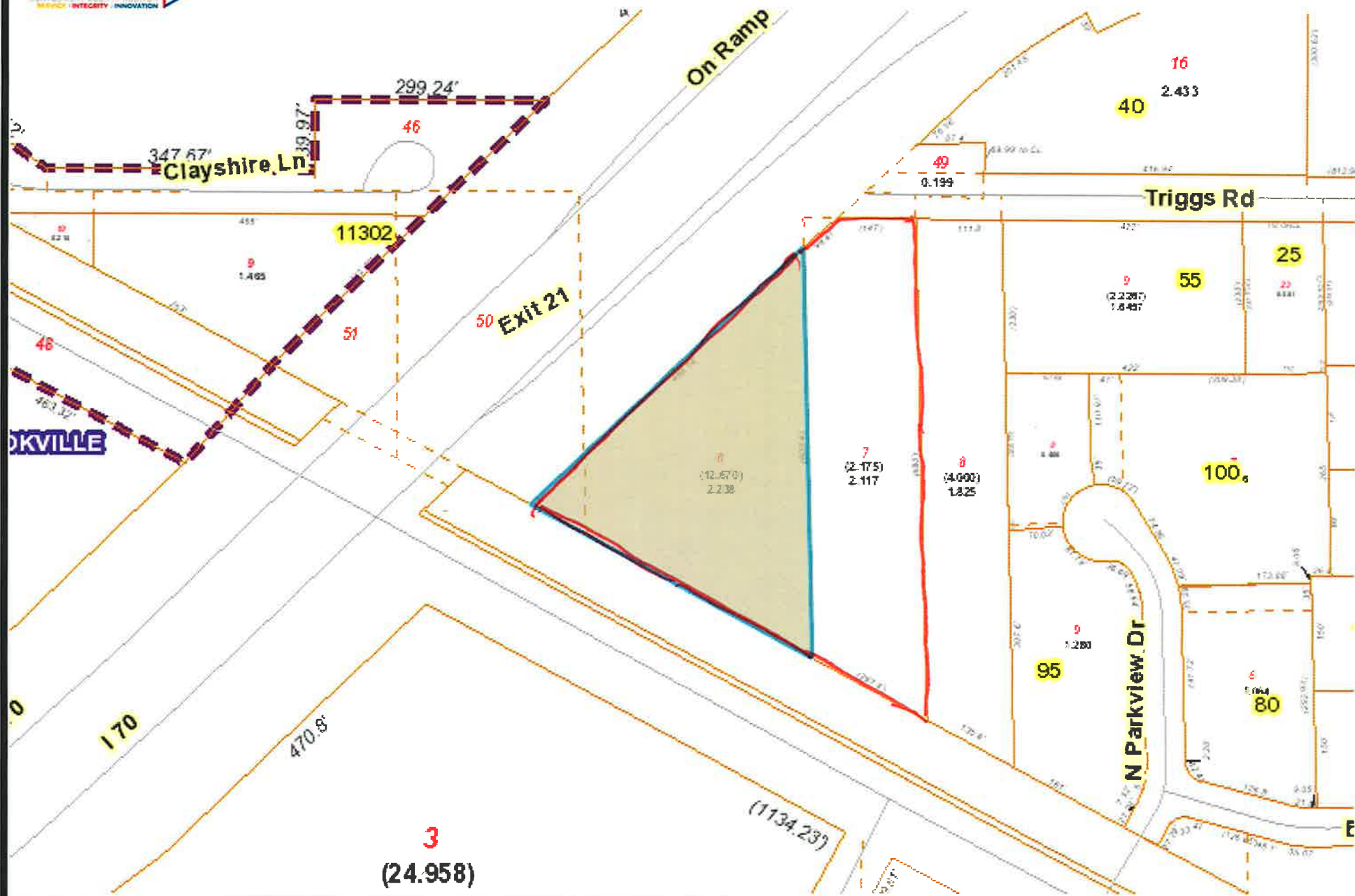
The City of Brookville has received an application to construct a Hilton Hotel. The project is located between Triggs Rd. and Upper Lewisburg-Salem Rd. and includes County Auditor Parcel No. C05 00415 0006 and C05 00415 0007. A County Auditor Map of the property is attached.

The property is located in the Highway Service Zoning District. The proposed use of a hotel is a permitted use in the Highway Service district.

A proposed subdivision record plan for Parkview Commercial Subdivision Section Three has been submitted for Planning Commission approval. The subdivision will establish a 3.007 acre lot for the location of the Hilton Hotel, and a 1.191 acre lot for future development as a site for a restaurant. The restaurant would be a permitted use in the Highway Service District.

A site plan for the Hilton Hotel has also been submitted for Planning Commission approval. The plan provides a site for a three-story hotel with 121 rooms. The parking plan provides for 128 spaces for the 121 rooms and 7 employees. The site plan provides for a private street to extend from Triggs Road to Upper Lewisburg-Salem Rd. The site plan also includes a landscape plan for the project.

It is requested that Planning Commission approved the site plan for the Hilton Hotel and the Parkview Commercial Subdivision Section Three Subdivision Record Plan.



****DISCLAIMER:**

This map is a visual presentation of data to be used as a public resource of general information and is provided strictly as a courtesy. The Montgomery County Auditors Office makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any information provided herein.

Furthermore The Montgomery County Auditors Office shall assume no liability for

1. Any errors, omissions, or inaccuracies in the information provided regardless of how caused; or
2. Any decision made or action taken or not taken by the reader in reliance upon any information furnished hereunder.

Note: Exact property boundaries must be derived by a legal survey of the property.



1 inch = 224 ft

G/S DEPARTMENT



BEARING BASIS:
CORRELATED TO THE WEST LINE
OF PARKVIEW SECTION TWO AS
N 02°29'04" W PER P.B. 166, PG. 30

OCCUPATION STATEMENT:
LINES ARE IN GENERAL AGREEMENT
WITH TITLE LINES.

LEGEND:

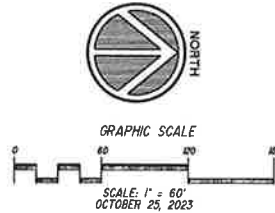
- IRON PIN FOUND - SIZE INDICATED
- IRON PIN SET W/LD. CAP - 5/8" OXNER-6209
- IRON PIPE FOUND - SIZE INDICATED
- R/R SPIKE FOUND
- R/R SPIKE SET
- MAG NAIL SET
- MAG NAIL FOUND
- STONE FOUND
- MONUMENT FOUND
- IRON PIN W/CAP &
- MONUMENT SET: 4" CONC. ENCASEMENT
- MONUMENT BOX FD.
- STONE IN MONUMENT BOX FD.
- CORNER NOT MONUMENTED
- AXLE OR GIN SPINDLE
- (NDL) = NEW DIVISION LINE
- (POC) = POINT OF COMMENCEMENT
- (TPOB) = TRUE POINT OF BEGINNING

SURVEY REF.

D.M.F. 98-523C08
D.M.F. 98-416E05
D.M.F. 77-412C09
D.M.F. 90-274B11
I.R. DEED 22-067178
PB 166 PG. 30

EASEMENT KEYNOTES

- | | |
|--|---|
| ① $\Delta = 23'37'03"$
R = 62.00'
A = 29.83'
LC = N 11°48'31" E
29.54' | ② $\Delta = 19'40'51"$
R = 72.00'
A = 29.70'
LC = N 09°50'25" E
29.49' |
| ③ $\Delta = 25'20'28"$
R = 90.00'
A = 46.01'
LC = N 12°40'14" E
45.51' | ④ $\Delta = 16'47'34"$
R = 137.00'
A = 40.15'
LC = N 19°02'48" E
39.99' |
| ⑤ N 27°18'58" E
39.92' | ⑥ S 27°18'58" W
40.21' |



RECORD PLAN
OF
PARKVIEW COMMERCIAL SUBDIVISION
SECTION THREE

BEING LOT NUMBERS 1482 & 1483 OF THE CONSECUTIVE
LOT NUMBERS OF THE CITY OF BROOKVILLE

LOCATED IN

SECTION 33, TOWN 6, RANGE 4 EAST, CITY OF BROOKVILLE
MONTGOMERY COUNTY, OHIO

4.259 AC.

PREPARED BY:

PROFESSIONAL ASSOCIATES, INC.
516 PATRICIA FAYE CT., BROOKVILLE, OHIO 45309
PH: (937) 238-1677

DESCRIPTION:

THE WITHIN PLAT IS A SUBDIVISION OF 4.259 ACRES LOCATED IN SECTION 33, TOWN 6, RANGE 4 EAST IN THE CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO, AND BEING ALL OF LANDS HERETOFORE CONVEYED TO BROOKVILLE LODGING ASSOCIATES, L.L.P. BY DEED RECORDED IN D.M.F. 98-523C08 AND D.M.F. 98-416E05.

THIS SUBDIVISION SHALL BE KNOWN AS AND DESIGNATED "PARKVIEW COMMERCIAL SUBDIVISION SECTION THREE" WHICH CONTAINS CITY LOT No.'s 2607 and 2608.

DEDICATION:

WE, THE UNDERSIGNED, BEING ALL OF THE OWNERS AND LIENHOLDERS OF THE LAND HEREIN SUBDIVIDED, DO HEREBY ACKNOWLEDGE AND VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT AND DO HEREBY RESERVE THE EASEMENTS AS SHOWN.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, GAS, ELECTRIC, TELEPHONE, OR OTHER UTILITY LINES OR SERVICES, AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREES, SHRUBS OR OTHER OBSTRUCTIONS TO THE FREE USE OF SAID UTILITIES, AND FOR PROVIDING OF INGRESS TO AND EGRESS FROM THE PROPERTY FOR SAID PURPOSES, AND ARE TO BE MAINTAINED AS SUCH FOREVER.

SIGNED AND ACKNOWLEDGED IN THE PRESENCE OF: OWNER: BROOKVILLE LODGING ASSOCIATES, L.L.P.

WITNESS

NAME PRINTED

WITNESS

NAME PRINTED

STATE OF OHIO, S.S.:

BE IT REMEMBERED ON THIS DAY OF 2023, BEFORE THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY CAME THE SAID BROOKVILLE LODGING ASSOCIATES, L.L.P. BY BHARAT PATEL, ITS GEN. PARTNER, TO ME KNOWN, AND ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE WITHIN PLAT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND NOTARIAL SEAL ON THE DAY AND DATE ABOVE WRITTEN.

NOTARY PUBLIC

MY COMMISSION EXPIRES:



STATE OF OHIO, S.S.:

BHARAT PATEL, AS GEN. PARTNER OF BROOKVILLE LODGING ASSOCIATES, L.L.P., BEING DULY SWORN SAYS THAT ALL PERSONS AND CORPORATIONS, TO THE BEST OF HIS KNOWLEDGE INTERESTED IN THIS DEDICATION, EITHER AS OWNERS, OR AS LIENHOLDERS HAVE UNITED IN ITS EXECUTION. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE DAY AND DATE ABOVE WRITTEN.

NOTARY PUBLIC

MY COMMISSION EXPIRES:



APPROVALS:
CITY OF BROOKVILLE

COUNCIL

DATE:

PLANNING COMMISSION

DATE:

MAYOR: CHUCK LETNER

CLERK: KIM DUNCAN

CHAIRPERSON: RYAN HENDERSON

CLERK: KIM DUNCAN

APPROVALS:

APPROVED FOR DESCRIPTION

MONTGOMERY COUNTY ENGINEER

CHECKED BY

DATE

DATE

2023-0274RE

FILE NO.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH OHIO ADMINISTRATIVE CODE CHAPTER 4733.37 STANDARDS FOR SURVEYS AND ALSO CONFORMS TO THE OHIO REVISED CODE CHAPTER 711 FOR RECORD PLANS AND WAS CONDUCTED UNDER MY SUPERVISION BASED ON FIELD WORK IN OCTOBER OF 2023. ALL MEASUREMENTS ARE CORRECT AND MONUMENTS ARE TO BE SET ON ALL LOT CORNERS AS SHOWN.

MICHAEL L. OXNER, REG. PROF. SURVEYOR, NO. 6209
STATE OF OHIO
OCTOBER, 2023



JOB No. 202305

PROFESSIONAL ASSOCIATES, INC.
CIVIL ENGINEER / SURVEYOR

"HILTON HOTEL BROOKVILLE"

CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO

GENERAL NOTES:

1. All sanitary sewers and/or water lines and appurtenances shall be constructed according to the City of Brookville's (C.O.B.) specifications, dated April 1999 or latest revision thereof, and City of Dayton Specifications, dated January 1, 1990. (Water Only)
2. Roof drains, foundation drains or other clean water connections to the sanitary sewer system are prohibited.
3. Sanitary manholes shall be precast conforming to ASTM C-478, and shall conform to C.O.B. Spec. for a Type "3" manhole.
4. Joints between precast sanitary manhole sections shall conform to ASTM C-443.
5. All manholes to have channeled bottoms.
6. Sanitary sewer pipe and fittings shall be PVC SDR35 conforming to ASTM D-3034 with ASTM D-3212 o-ring joints. Gasket material shall conform to ANSI/ASTM F-477 standards. PVC pipe to be installed shall be furnished with factory pipe and shall also conform to C.O.B. Spec. Pipe bedding material shall consist of No. 57's or No. 67's, 100K crushed aggregate material, with at least 4" below and 12" above grade.
7. All sanitary sewer pipe shall be installed true to alignment and grade as indicated on the Utility Plans and must pass City of Brookville inspections and testing procedures before being released for taps. Any section of sanitary main or manholes not passing these tests will be re-laid or repaired at contractor's expense. Unless otherwise noted, all sanitary laterals (6") shall be extended as indicated on the Utility Plans, plugged and marked for location.
8. The contractor shall not make any physical connection to the existing sanitary sewer until the remaining sewer, excluding the first span, has been inspected, tested and released for use.
9. Water mains, bends, and fittings shall be ductile cast iron pipe conforming to ANSI A-21.51 (AWWA C-151), Class 51.
10. Water mains shall have 4'-6" minimum cover.
11. Service connections shall not be made to the water main until the mainline has been inspected, tested, disinfected, and released for taps. All water service connections shall be a minimum of 1" diameter with 3/4" water meter, and conform to City of Dayton Specifications.
12. All utility trenches within the existing or proposed right-of-way shall be backfilled with granular fill material conforming to GDOT 703-11 Type 1 or 3 in accordance with COB Specifications and compacted before subgrade approval.
13. No additions, omissions, or revisions to the sanitary sewer and/or water facilities are to be made without prior written approval by the City of Brookville.
14. Only the City of Brookville Maintenance Department personnel shall operate main line water valves.
15. Fire hydrants shall be located 2 feet from and within 5 feet of the curb or edge of pavement and with the 4 inch hydrant opening facing the street.
16. In the event rock is encountered during the construction period which requires blasting in the opinion of the Engineer, additional payment will be made to contractor pursuant to M.O.B. guidelines and specifications.
17. All gate valves are to be located at tees or crosses with a one foot maximum depth below the top of cross, and all valves in excess shall be provided for every operating unit on a buried gate valve. All plugs are to be connected to valves except where shown on the plans.
18. All existing underground utilities are shown in their approximate locations according to the best available information. The Contractor shall be responsible for determining their exact location in the field and shall be responsible for any damage done to them. Forty-eight (48) hours before digging is to commence, the contractor shall notify the following agencies: The Ohio Utilities Protection Service (OUPS) of 1-800-352-2764; the Dayton Power and Light Company at 1-800-227-3619; and the City of Brookville Maintenance Department at 513-853-2135, and all other agencies which might have underground utilities within the project which are non-members of "OUPS", to obtain accurate field locations of existing underground utilities.
19. All roadway catch basins are to be C.O.B. Type "1".

21. All storm pipe shall be high density polyethylene (HDPE) meeting the requirements of ODOT 707.33 - AASHTO M 294 unless noted otherwise. Catch basin laterals shall be installed at a 1.0% grade unless specifically otherwise.
22. All storm manholes are to be Type "3" unless otherwise noted.
23. All road work shall be performed in accordance with the City of Brookville's Specifications, dated April 1999 or the latest revision thereof.
24. Curb ramps to be located as indicated on plans and constructed in accordance with ODOT SCD BP-7.1.
25. All curb radii to be 25.0 feet minimum unless otherwise specified.
26. All storm drainage and street construction shall be performed in accordance with C.O.B. Specs.
27. All field tile encountered shall be replaced and/or connected to the storm sewer system.
28. All underground utility service laterals are to be installed from the mainline to the right-of-way line before streets are surfaced.
29. All channel protection shall conform to Item 601.06 of the Ohio Department of Transportation Construction and Material Specifications. It shall be placed with a 6" bed of #3 or #4 crushed aggregate, stone, or stone. Filler fabric to be installed according to manufacturers specifications.
30. For sanitary manholes in which precast boxes are used, pipe connections shall incorporate resilient connections conforming to ASTM C-923 for reinforced concrete manhole structures and pipes.
31. Lateral permits, including stub-in permits, must be obtained from the City of Dayton Plumbing Inspection Dept. and City of Brookville for water laterals. City of Brookville will issue permits for sanitary sewer laterals.
32. All manholes located in the pavement area shall be installed either centered in a traveled lane or on a longitudinal pavement marking stripe, such as a lane line, channelizing line, or center line.
33. All disturbed areas shall have temporary seeding and mulching, in accordance with Grading Activity Chart Note 2.
34. Occupancy shall not be permitted until storm water facilities and other public improvements have been completed to service conditions.
35. Proper transition to be provided from end of proposed storm sewers, ditches, roadway, etc. to existing grade. Restoration of disturbed areas adjacent to this plot are the responsibility of the contractor.
36. Contractor shall perform all items of work stipulated and/or implied, and shall furnish all labor, materials, equipment, tools, transportation and supplies required to complete the work in accordance with the plans and specifications. Should any misunderstanding occur as to the intent or meaning of the plans and specifications, or should any discrepancy appear, the Project Engineer shall be notified and shall have the right to render a final written decision which shall be binding upon both owner and contractor.
37. Water lines crossing any and all sewers shall have a minimum vertical separation of 18" between the outside of the water main pipe and the sewer pipe. One full length of water main pipe shall be centered at the point of crossing such that both joints will be equidistant and as far from the sewer as possible. If water crosses below sanitary sewers, the sewer must be water main material for that span or encased in concrete.
38. The water main installation will be inspected by the City of Brookville and may be inspected by the City of Dayton if required.
39. All taps to existing water mains will be made by the City of Dayton at the contractor's expense. This work will include furnishing and installing the tapping sleeve and valve and making the tap. All other work including excavation, backfill and restoration over the tapped main shall be by the contractor.
40. See specifications noted above and as noted in plans for restrained joint and thrust block requirements.

CITY OF BROOKVILLE GENERAL NOTES
AND UTILITY AGENTS

STREET, STORM, AND SANITARY
CITY OF BROOKVILLE
301 SYCAMORE ST.
P.O. BOX 10
BROOKVILLE, OHIO 45309-0010
937-833-2135

ELECTRIC SERVICE
AES OHIO (FORMERLY DP&L)
236 W. LEXINGTON RD.
EATON, OHIO 45320
1-800-729-2640
FAX: 937-456-2702

WATER
CITY OF DAYTON, DEPT. OF WATER
CONSTRUCTION INSPECTION
320 W. MONUMENT AVE.
DAYTON, OHIO 45402
937-333-3725

SEEDLING

A. All areas designated for seeding shall have a minimum of 6" topsoil over the entire areas. The area shall be hand raked, and dressed ready for seeding. No stone over 1" in size permitted.

B. The following seed mixture or approved equivalent shall be used:

- 30% Kentucky Blue (WVS)
- 23% Palmer 11 Perennial Rye
- 22% Yorklown 111 Perennial Rye
- 15% Creeping Red Fescue
- 10% Baron Kentucky Bluegrass

C. It is the contractor's sole responsibility to ensure the grass established to the satisfaction of the CITY

DRAINS

A. All field or storm drains which are encountered during construction shall be repaired and provided with unobstructed outlets as approved and directed by the city and marked on the record drawings.

CONNECTIONS TO / OR CROSSING EXISTING UTILITIES

A. Where the plans provide for proposed conduit to be connected to, or to cross either over or under an existing utility, it shall be the responsibility of the contractor to locate the existing utility both as to line and grade before starting to lay the proposed conduit.

UTILITY SEPARATION

A. Underground utilities such as gas, electric, cable television, telephone, etc., shall have 10' separation from any city utility unless otherwise approved.

UTILITIES

A. The maximum length of any utility trench to be open at any time shall be 250' unless otherwise approved.

COMPACTION METHODS

A. Flooding shall not be permitted.

B. Mechanical devices, hand devices, vibrating plates or other equipment approved by the municipality is acceptable 1' above pipe in uniform lifts of 12" (loose depth) of existing native material and 6" of granular backfill. The height of lifts will depend upon the type of mechanical equipment being used. The height will be 6" for hand operated tools and up to 12" on equipment mounted tools. The compaction equipment shall be capable of compacting the material under the haunch of the pipe.

PROJECT
BENCHMARK:
SQUARE CUT IN N.E. CORNER OF THE 5 RIVERS
METRO PARK GAZEBO, LOCATED 119.75' W. OF
THE INTERSECTION OF UPPER-LEWISBURG SALEM
RD. AND MEADOW GLEN AVE., AND 79' N. OF THE

2 WORKING DAYS
BEFORE YOU DIG



INDEX:
SHT. DESCRIPTION

1. COVER SHEET & GENERAL NOTES
2. SITE DEVELOPMENT PLAN
3. UTILITY PLAN
4. GRADING / DRAINAGE PLAN
5. STORMWATER / POLLUTION PREVENTION PLAN'
6. PLAN & PROFILE SHEET - HILTON LANE STA. 0+00 TO STA. 7+70.90
7. STORM / WATERMAIN PROFILES
8. CUL-DE-SAC / INTERSECTION DETAILS
9. DETAILS
10. DETAILS
11. LIGHTING & PHOTOMETRICS PLAN
12. LANDSCAPE PLAN

APPROVALS:
CITY OF BROOKVILLE

CITY MANAGER: SONJA KEATON

DATE _____

CITY OF DAYTON
(FOR WATER ONLY)

DEPARTMENT OF WATER DIRECTOR

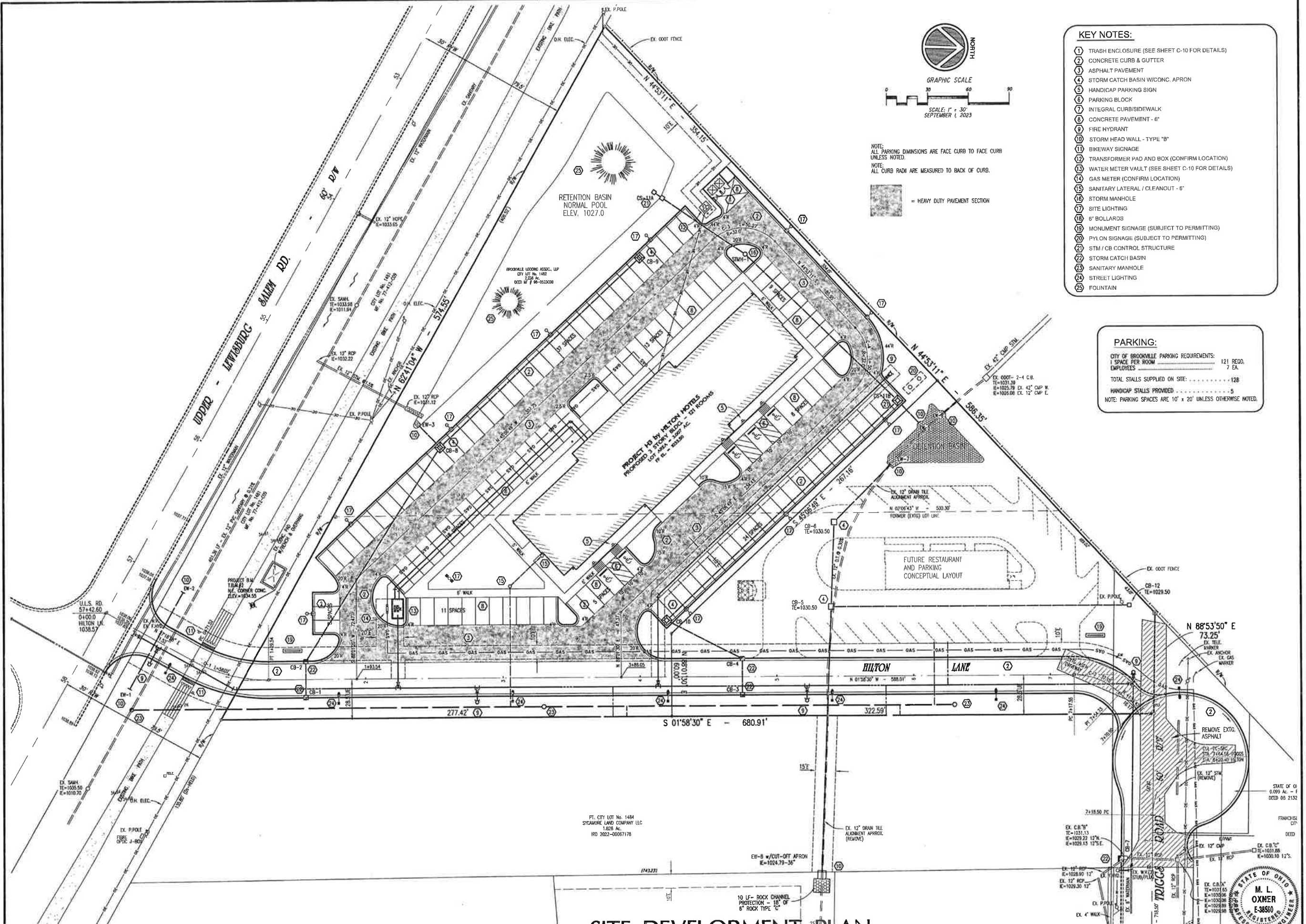
DATE _____

OHIO E.P.A.

WATER: SUBMITTED: _____ APPROVED: _____ PERMIT No. _____
 SANITARY: SUBMITTED: _____ APPROVED: _____ PERMIT No. _____
 STORMWATER SUBMITTED: _____ APPROVED: _____ PERMIT No. _____

No.	Date	Revision	CITY OF BROOKVILLE PROPOSED IMPROVEMENTS FOR: "HILTON HOTEL BROOKVILLE" SECTION 33, TOWN 6, RANGE 4 EAST CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO	
			COVER SHEET	
			Scale: 475 Date: OCTOBER 21, 2013	Drawn: M.C. Checked: M.C. Prepared: M.C.
			PROFESSIONAL ASSOCIATES INC. ENGINEERS, PLANNERS & SURVEYORS 217 MARKET ST. BROOKVILLE, OH 45309 TEL: 937-793-6896	
			District No. 23008 Sheet No. 1 of 1	





KEY NOTES:

- 1 TRASH ENCLOSURE (SEE SHEET C-10 FOR DETAILS)
- 2 CONCRETE CURB & GUTTER
- 3 ASPHALT PAVEMENT
- 4 STORM CATCH BASIN W/CONC. APRON
- 5 HANDICAP PARKING SIGN
- 6 PARKING BLOCK
- 7 INTEGRAL CURB/SIDEWALK
- 8 CONCRETE PAVEMENT - 6"
- 9 FIRE HYDRANT
- 10 STORM HEAD WALL - TYPE "B"
- 11 BIKEWAY SIGNAGE
- 12 TRANSFORMER PAD AND BOX (CONFIRM LOCATION)
- 13 WATER METER VAULT (SEE SHEET C-10 FOR DETAILS)
- 14 GAS METER (CONFIRM LOCATION)
- 15 SANITARY LATERAL / CLEANOUT - 6"
- 16 STORM MANHOLE
- 17 SITE LIGHTING
- 18 6" BOLLARDS
- 19 MONUMENT SIGNAGE (SUBJECT TO PERMITTING)
- 20 PYLON SIGNAGE (SUBJECT TO PERMITTING)
- 21 STM / CB CONTROL STRUCTURE
- 22 STORM CATCH BASIN
- 23 SANITARY MANHOLE
- 24 STREET LIGHTING
- 25 FOUNTAIN

PARKING:

CITY OF BROOKVILLE PARKING REQUIREMENTS:
1 SPACE PER ROOM 121 REQ.
EMPLOYEES 7 EX.
TOTAL STALLS SUPPLIED ON SITE: 128
HANDICAP STALLS PROVIDED: 5
NOTE: PARKING SPACES ARE 10' x 20' UNLESS OTHERWISE NOTED.

PROJECT H3
by HILTON

PARKVIEW SUBDIVISION SEC. 3
LOT No. 2607 - 3.007 ACRES
SEC. 33, T6, RANGE 4 EAST
CITY OF BROOKVILLE,
MONTGOMERY COUNTY,
OHIO 45309

REVISIONS

PROJECT NO:

202305

SHEET TITLE:

SITE DEVELOPMENT
PLAN

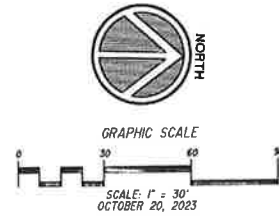
SHEET NO:

C-2

PROFESSIONAL
ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
27 MARKET STREET - PO BOX 238
BROOKVILLE, OHIO 45309
PH: 937-833-2869 FAX: 937-833-5626

SUN
REAL ESTATE
5701 PROGRESS DR. INDIANAPOLIS, INDIANA 46241
OFFICE: 317-247-5500 • FAX: 317-247-5551

STATE OF OHIO
M. L. OXNER
E-38560
REGISTERED ENGINEER

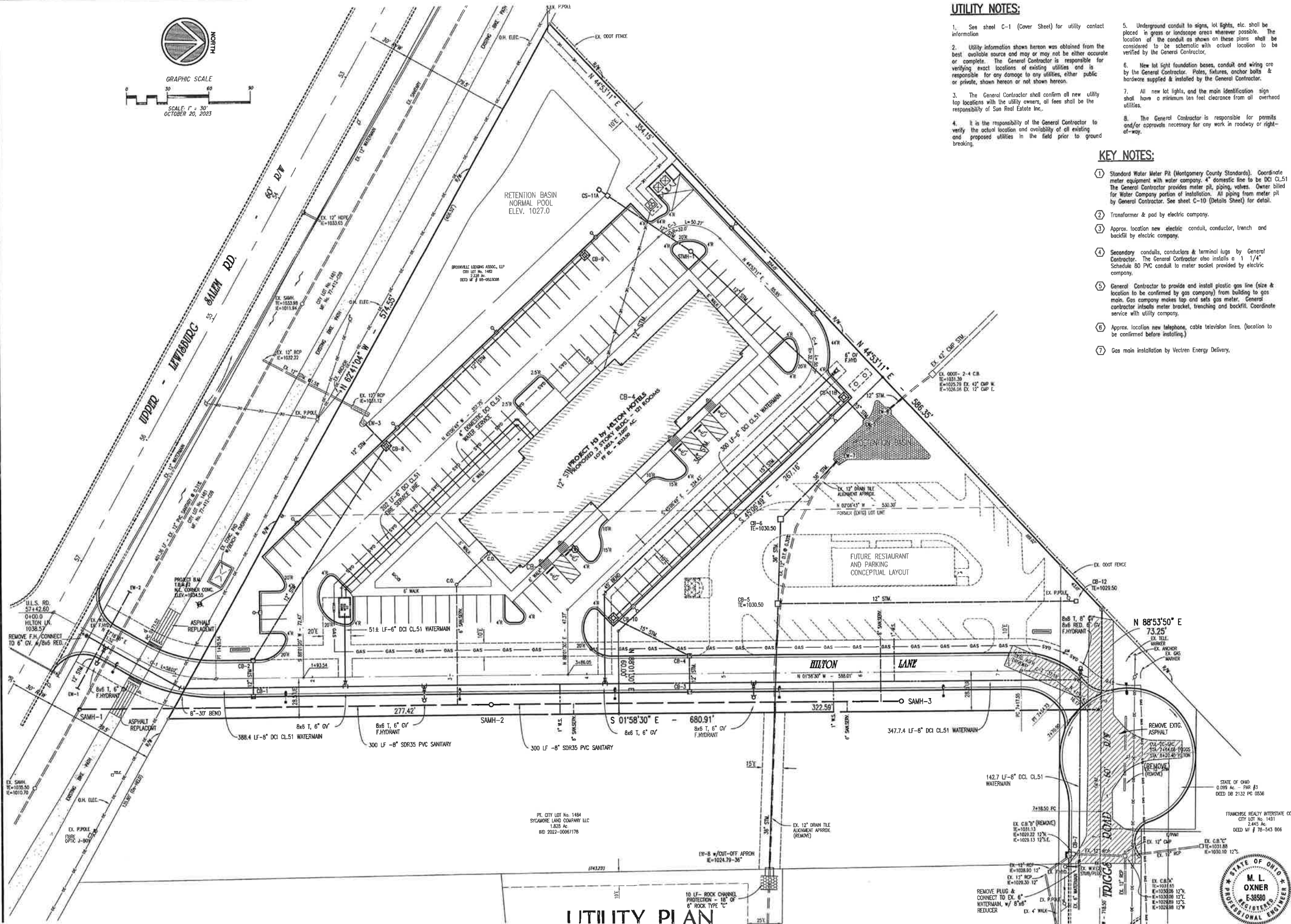


UTILITY NOTES:

1. See sheet C-1 (Cover Sheet) for utility contact information.
2. Utility information shown hereon was obtained from the best available source and may or may not be either accurate or complete. The General Contractor is responsible for verifying exact locations of existing utilities and is responsible for any damage to any utilities, either public or private, shown hereon or not shown hereon.
3. The General Contractor shall confirm all new utility top locations with the utility owners, all fees shall be the responsibility of Sun Real Estate Inc.
4. It is the responsibility of the General Contractor to verify the actual location and availability of all existing and proposed utilities in the field prior to ground breaking.
5. Underground conduit to signs, lot lights, etc. shall be placed in grass or landscape areas wherever possible. The location of the conduit as shown on these plans shall be considered to be schematic with actual location to be verified by the General Contractor.
6. New lot light foundation bases, conduit and wiring are by the General Contractor. Poles, fixtures, anchor bolts & hardware supplied & installed by the General Contractor.
7. All new lot lights, and the main identification sign shall have a minimum ten feet clearance from all overhead utilities.
8. The General Contractor is responsible for permits and/or approvals necessary for any work in roadway or right-of-way.

KEY NOTES:

1. Standard Water Meter Pit (Montgomery County Standards). Coordinate meter equipment with water company. 4" domestic line to be DCI CL51. The General Contractor provides meter pit, piping, valves. Owner billed for Water Company portion of installation. All piping from meter pit by General Contractor. See sheet C-10 (Details Sheet) for detail.
2. Transformer & pad by electric company.
3. Approx. location new electric conduit, conductor, trench and backfill by electric company.
4. Secondary conduits, conductors & terminal lugs by General Contractor. The General Contractor also installs a 1 1/4" Schedule 80 PVC conduit to meter socket provided by electric company.
5. General Contractor to provide and install plastic gas line (size & location to be confirmed by gas company) from building to gas main. Gas company makes tap and sets gas meter. General contractor installs meter bracket, trenching and backfill. Coordinate service with utility company.
6. Approx. location new telephone, cable television lines. (location to be confirmed before installing.)
7. Gas main installation by Vectren Energy Delivery.



PROFESSIONAL ASSOCIATES, INC.
CONSULTING ENGINEER / SURVEYOR
56 PATRICIA AVE. CT.
BROOKVILLE, OHIO 45309
PH 937-238-8577

SUN REAL ESTATE
5701 PROGRESS DR. INDIANAPOLIS, INDIANA 46241
OFFICE: 317-247-5500 • FAX: 317-247-5551

PARKVIEW SUBDIVISION SEC. 3
LOT No. 2607 - 3.007 ACRES
SEC. 33, T6, RANGE 4 EAST
CITY OF BROOKVILLE,
MONTGOMERY COUNTY,
OHIO 45309

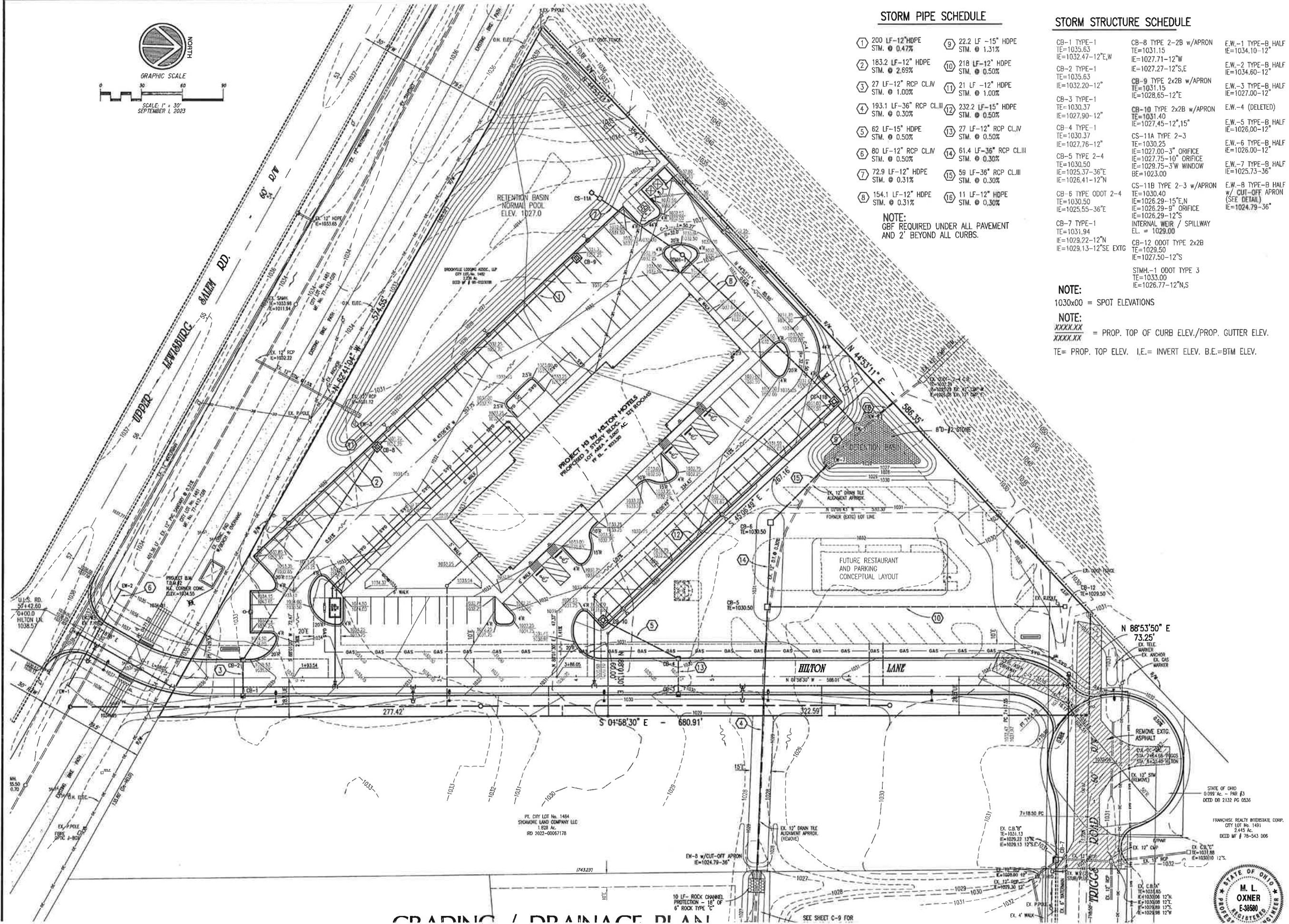
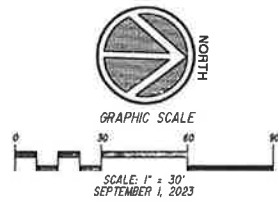
PROJECT H3
by HILTON

REVISIONS

PROJECT NO:
2302305
SHEET TITLE

UTILITY PLAN
SHEET NO:
C-3





STORM PIPE SCHEDULE

- | | |
|---|---|
| 1 200 LF-12" HDPE
STM. @ 0.47% | 9 22.2 LF-15" HDPE
STM. @ 1.31% |
| 2 183.2 LF-12" HDPE
STM. @ 2.69% | 10 218 LF-12" HDPE
STM. @ 0.50% |
| 3 27 LF-12" RCP CL.V
STM. @ 1.00% | 11 21 LF-12" HDPE
STM. @ 1.00% |
| 4 193.1 LF-36" RCP CL.III
STM. @ 0.30% | 12 232.2 LF-15" HDPE
STM. @ 0.50% |
| 5 62 LF-15" HDPE
STM. @ 0.50% | 13 27 LF-12" RCP CL.V
STM. @ 0.50% |
| 6 80 LF-12" RCP CL.V
STM. @ 0.50% | 14 61.4 LF-36" RCP CL.III
STM. @ 0.30% |
| 7 72.9 LF-12" HDPE
STM. @ 0.31% | 15 59 LF-36" RCP CL.III
STM. @ 0.30% |
| 8 154.1 LF-12" HDPE
STM. @ 0.31% | 16 11 LF-12" HDPE
STM. @ 0.30% |

NOTE:
GBF REQUIRED UNDER ALL PAVEMENT
AND 2' BEYOND ALL CURBS.

STORM STRUCTURE SCHEDULE

- | | | |
|---|---|---|
| CB-1 TYPE-1
TE=1035.63
IE=1032.47-12"E,W | CB-8 TYPE 2-2B w/APRON
TE=1031.15
IE=1027.71-12"W | E.W.-1 TYPE-B, HALF
IE=1034.10-12" |
| CB-2 TYPE-1
TE=1035.63
IE=1032.20-12" | CB-9 TYPE 2x2B w/APRON
TE=1031.15
IE=1028.65-12"E | E.W.-2 TYPE-B, HALF
IE=1034.60-12" |
| CB-3 TYPE-1
TE=1030.37
IE=1027.90-12" | CB-10 TYPE 2x2B w/APRON
TE=1031.40
IE=1027.45-12",15" | E.W.-3 TYPE-B, HALF
IE=1027.00-12" |
| CB-4 TYPE-1
TE=1030.37
IE=1027.76-12" | CS-11A TYPE 2-3
TE=1030.25
IE=1027.00-3" ORIFICE | E.W.-4 (DELETED) |
| CB-5 TYPE 2-4
TE=1030.50
IE=1025.37-36"E
IE=1026.41-12"N | IE=1027.75-10" ORIFICE
IE=1029.75-3" W WINDOW
BE=1023.00 | E.W.-5 TYPE-B, HALF
IE=1026.00-12" |
| CB-6 TYPE ODOT 2-4
TE=1030.50
IE=1025.55-36"E | CS-11B TYPE 2-3 w/APRON
TE=1030.40
IE=1026.29-15"E,N | E.W.-6 TYPE-B, HALF
IE=1026.00-12" |
| CB-7 TYPE-1
TE=1031.94
IE=1029.22-12"N
IE=1029.13-12"SE EXTG | IE=1026.29-9" ORIFICE
IE=1026.29-12"S
INTERNAL WEIR / SPILLWAY
EL. = 1029.00 | E.W.-7 TYPE-B, HALF
IE=1025.73-36" |
| | CB-12 ODOT TYPE 2x2B
TE=1029.50
IE=1027.50-12"S | E.W.-8 TYPE-B, HALF
w/ CUT-OFF APRON
(SEE DETAIL)
IE=1024.79-36" |
| | STMH-1 ODOT TYPE 3
TE=1033.00
IE=1026.77-12"N,S | |

NOTE:

1030x00 = SPOT ELEVATIONS

NOTE:

XXXXXX = PROP. TOP OF CURB ELEV./PROP. GUTTER ELEV.

TE= PROP. TOP ELEV. I.E.= INVERT ELEV. B.E.=BTM ELEV.

PROFESSIONAL
ASSOCIATES, INC.
CONSULTING ENGINEER / SURVEYOR
516 PATRICIA FAYE CT.
BROOKVILLE, OHIO 45309
PH 937-238-677

SUN
REAL ESTATE
5701 PROGRESS DR. INDIANAPOLIS, INDIANA 46241
OFFICE: 317-247-5500 • FAX: 317-247-5551

PARKVIEW SUBDIVISION SEC. 3
LOT No. 2607 - 3.007 ACRES
SEC. 33, T6, RANGE 4 EAST
CITY OF BROOKVILLE,
MONTGOMERY COUNTY,
OHIO 45309

PROJECT H3
by HILTON

REVISIONS

PROJECT NO:
202305

SHEET TITLE:

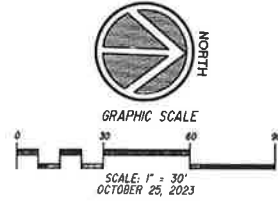
GRADING / DRAINAGE
PLAN

SHEET NO:
C-4

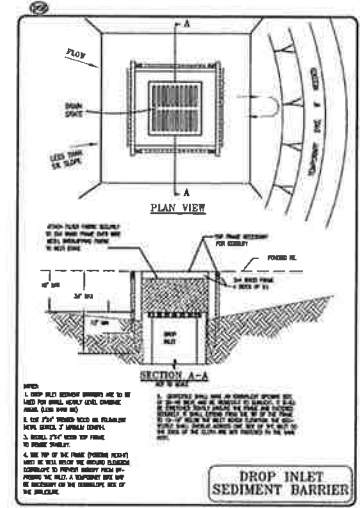


GRADING ACTIVITY & SOIL PROTECTION CHART:												
ACTIVITY	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
GRADING												
SOIL PROTECTION												
VEGETATION												
SEEDING												
MULCHING												
STORM SEWER												
RETENTION BASIN												
SEDIMENT BASIN												
DETENTION BASIN												
CONSTRUCTION												
ROADS												
UTILITIES												
LANDSCAPING												

NOTES:
1. - EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OR EXCAVATION.
2. - EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. - EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.
4. - EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
5. - EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
6. - EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
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11. - EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
12. - EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:



- Erosion Control Construction Sequence Chart
1. Install Sediment Control Measures
VC Vegetative Channel
BF Buffer Filter
SF Soil Fence
SE Stabilized Construction Entrance
(Any measures to be used on site)
 2. Grade Site / Stockpile Topsoil
 3. Preserve and Protect Existing Vegetation
 4. Install Stormwater Management Measures
ST Storm Sewer
EF Erosion Filter (Silt Protection)
(Any measures to be used on site)
 5. Temporary Vegetative Stabilization of Control Measures
TS Temporary Seeding
VF Vegetative Filter
M Mulching
(Any measures to be used on site)
 6. Install Road and Parking Subgrade
AG Aggregate Cover
 7. Site Construction Work
CG Curb and Gutter
P Paving (Walks, Plazas, etc.)
 8. Vegetative Cover on All Areas to be exposed Longer than 45 Days
 9. Surface Roads and Parking
P Paving
 10. Permanent Vegetative Stabilization of All Exposed Areas
PS Permanent Seeding
SD Sodding
 11. Install Permanent Landscaping
 12. Perform Continuing Maintenance



- Inspection Schedule
1. Erosion and Sediment Measures - will be inspected at seven (7) day intervals or after every two storm producing events.
 2. Sediment Basins and Ponds - will be checked after each major phase of the development for sediment accumulation.
 3. Vegetative Plantings - Spring plantings will be checked during summer or early fall.
 4. Erosion - Any erosion control measures, structural measures, or other related items in the project will be checked weekly, seven (7) days.
 5. Stormwater - Stormwater, ditches and other areas that support a designed flow of water will be checked regularly to maintain flow.
 6. Sediment - Sediment areas where the seed has not produced a good cover will be inspected and reseeded as necessary.

PROFESSIONAL ASSOCIATES, INC.
CONSULTING ENGINEER / SURVEYOR
55 PATRICK FAYE CT.
BROOKVILLE, OHIO 45309
PH 937-298-1677

SUN
REAL ESTATE
5701 PROGRESS DR. INDIANAPOLIS, INDIANA 46241
OFFICE: 317-247-5500 • FAX: 317-247-5551

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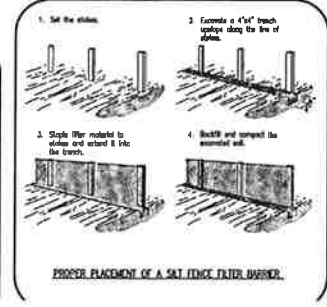
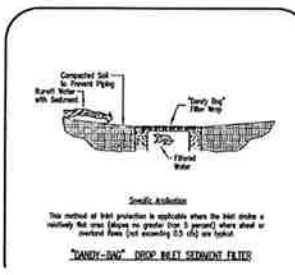
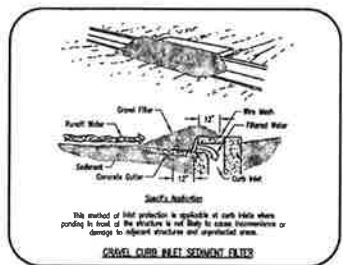
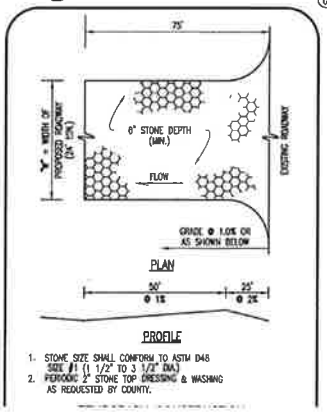
REVISIONS

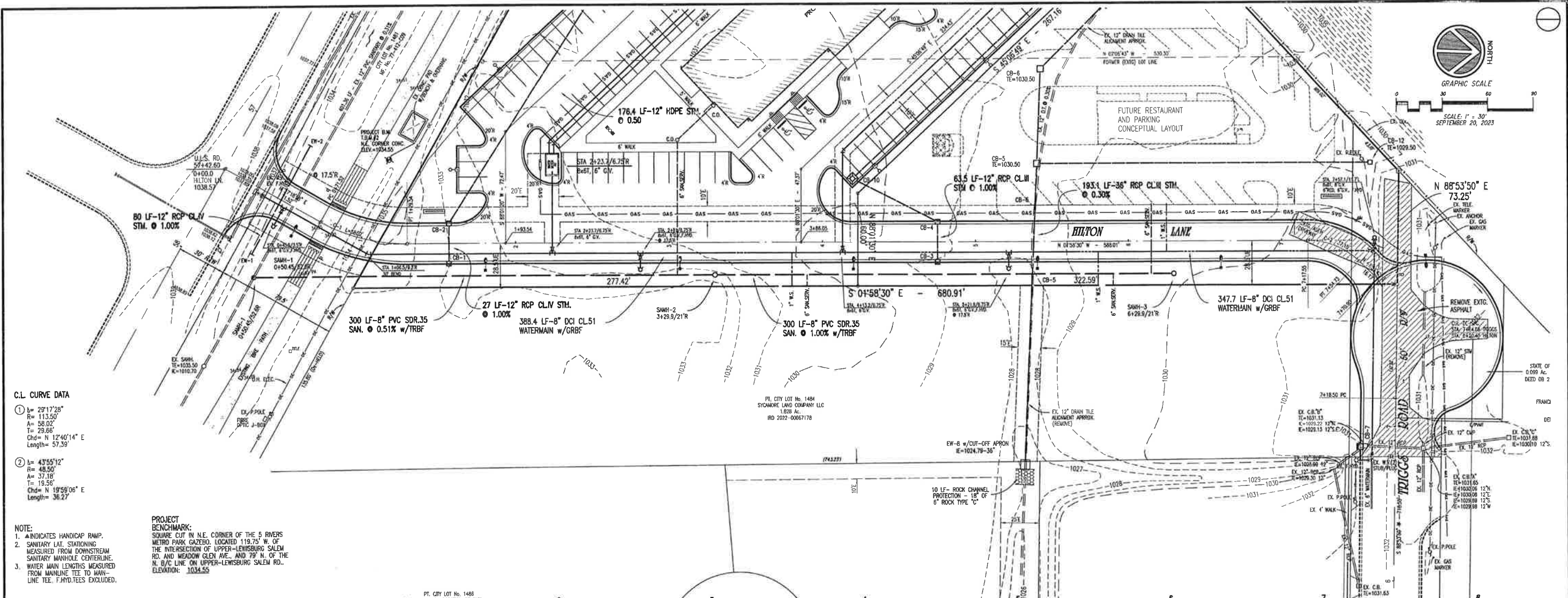
PROJECT NO:
202305
SHEET TITLE:
STORMWATER / POLLUTION PREVENTION PLAN

SHEET NO:
C-15



STORMWATER / POLLUTION PREVENTION PLAN





C.L. CURVE DATA

① $\Delta = 29^\circ 17' 28''$
 $R = 113.50'$
 $A = 58.02'$
 $T = 29.56'$
 $\text{Chd} = N 12^\circ 40' 14'' E$
 $\text{Length} = 57.39'$

② $\Delta = 43^\circ 55' 12''$
 $R = 48.50'$
 $A = 37.18'$
 $T = 19.58'$
 $\text{Chd} = N 19^\circ 58' 06'' E$
 $\text{Length} = 36.27'$

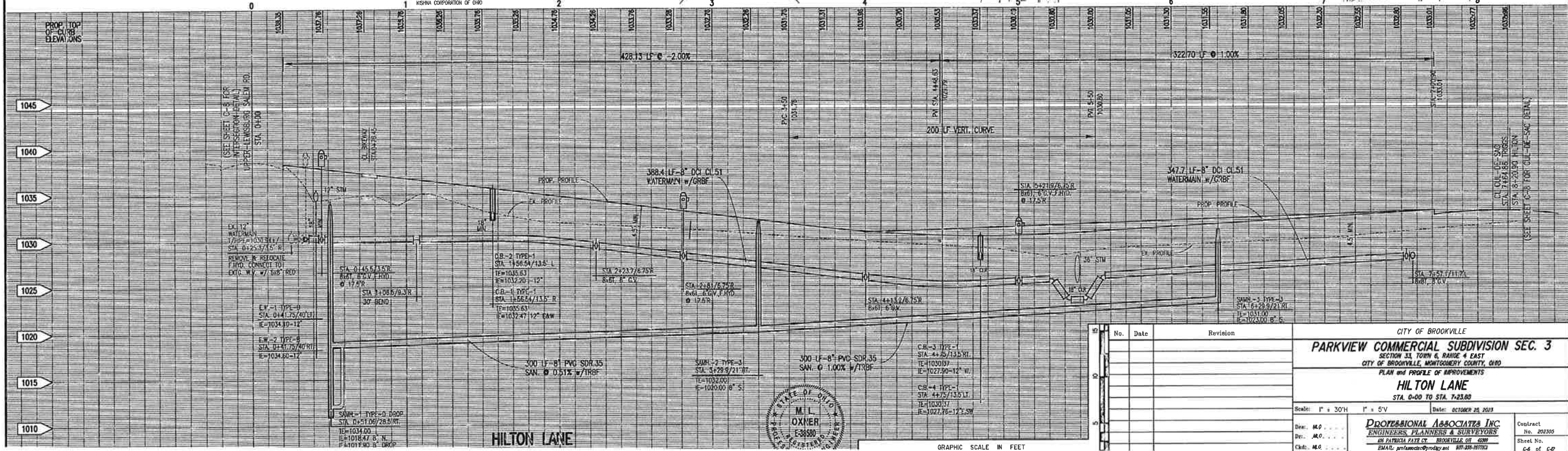
NOTE:

1. ▲ INDICATES HANDICAP RAMP.

2. SANITARY LAT. STATIONING MEASURED FROM DOWNSTREAM SANITARY MANHOLE CENTERLINE.

3. WATER MAIN LENGTHS MEASURED FROM MANHOLE TEE TO MANHOLE TEE. F.H.Y.D.E.S. EXCLUDED.

PROJECT BENCHMARK:
SQUARE CUT IN N.E. CORNER OF THE 5 RIVERS METRO PARK GAZEBO, LOCATED 119.75' W. OF THE INTERSECTION OF UPPER-LEWISBURG SALEM RD. AND MEADOW CLEN AVE. AND 79' N. OF THE N 8/8" LINE ON UPPER-LEWISBURG SALEM RD.
ELEVATION: 1034.55



10/27/2023 10:54:48 AM

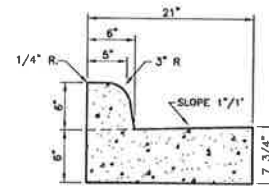
No.	Date	Revision

CITY OF BROOKVILLE
PARKVIEW COMMERCIAL SUBDIVISION SEC. 3
SECTION 33, TOWN 6, RANGE 4 EAST
CITY OF BROOKVILLE, MONTGOMERY COUNTY, OHIO
PLAN AND PROFILE OF IMPROVEMENTS
HILTON LANE
STA. 0+00 TO STA. 7+23.00

Scale: 1" = 30' H 1" = 5' V
Date: OCTOBER 26, 2023

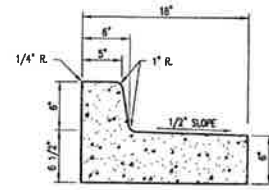
PROFESSIONAL ASSOCIATES INC.
ENGINEERS, PLANNERS & SURVEYORS
200 PATRICK AVE. CT. BROOKVILLE, OH 45309
EMAIL: paul@proa-inc.com TEL: 513-855-0072

Contract No. 202305
Sheet No. 6-6 of 6-8



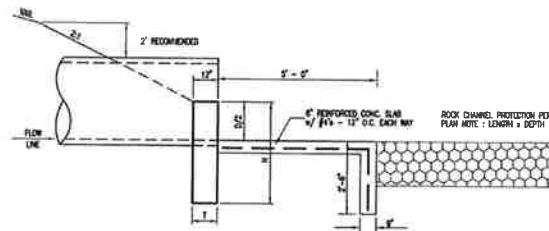
- NOTE:
1. USE WITH ALL ASPHALT PAVEMENT
 2. 1/4" PREMOULDED EXPANSION JOINTS SHALL BE CONSTRUCTED EACH SIDE OF DRIVE APPROACH SECTIONS AND AT INTERSECTION P.C. POINTS, BUT THE MAXIMUM SPACING SHALL NOT EXCEED 100'.
 3. ODOT CLASS "C" CONC. (4000 PSI)

TYPE "2" COMBINED CURB & GUTTER
HILTON LANE (PRIVATE)



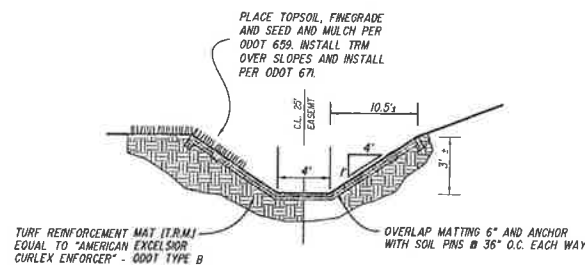
- NOTE:
1. USE WITH ALL ASPHALT PAVEMENT
 2. 1/4" PREMOULDED EXPANSION JOINTS SHALL BE CONSTRUCTED EACH SIDE OF DRIVE APPROACH SECTIONS AND AT P.C. POINTS AT INTERSECTIONS, BUT THE MAXIMUM SPACING SHALL NOT EXCEED 100'.
 3. f'c = 3000 PSI

PARKING LOT COMBINED CURB & GUTTER

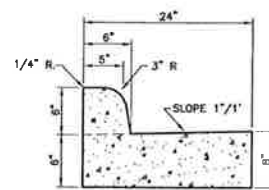


W	H	CONC. CY'S
12"	2'-0"	0.21
15"	2'-0"	0.27
18"	2'-0"	0.33
21"	2'-0"	0.39
24"	2'-0"	0.46
27"	2'-0"	0.53
30"	2'-0"	0.60
33"	2'-0"	0.66
36"	2'-0"	0.73
39"	2'-0"	0.80
42"	2'-0"	0.86
45"	2'-0"	0.92
48"	2'-0"	0.99

TYPE "B" ENDWALL - w/ CUT-OFF APRON
ALL CONCRETE SHALL BE 4000 PSI

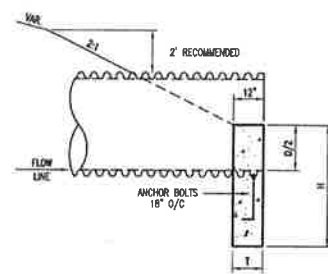


DRAINAGE CHANNEL DETAIL

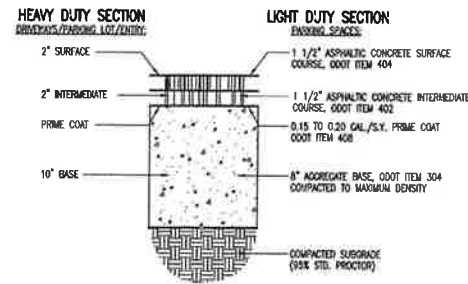


- NOTE:
1. USE WITH ALL ASPHALT PAVEMENT
 2. 1/4" PREMOULDED EXPANSION JOINTS SHALL BE CONSTRUCTED EACH SIDE OF DRIVE APPROACH SECTIONS AND AT INTERSECTION P.C. POINTS, BUT THE MAXIMUM SPACING SHALL NOT EXCEED 100'.
 3. ODOT CLASS "C" CONC. (4000 PSI)

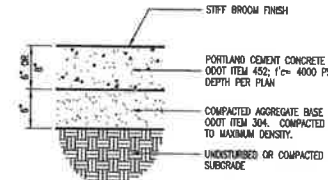
TYPE "2" COMBINED CURB & GUTTER
TRIGGS ROAD



TYPE "B" ENDWALL - CMP / HDPE PIPE

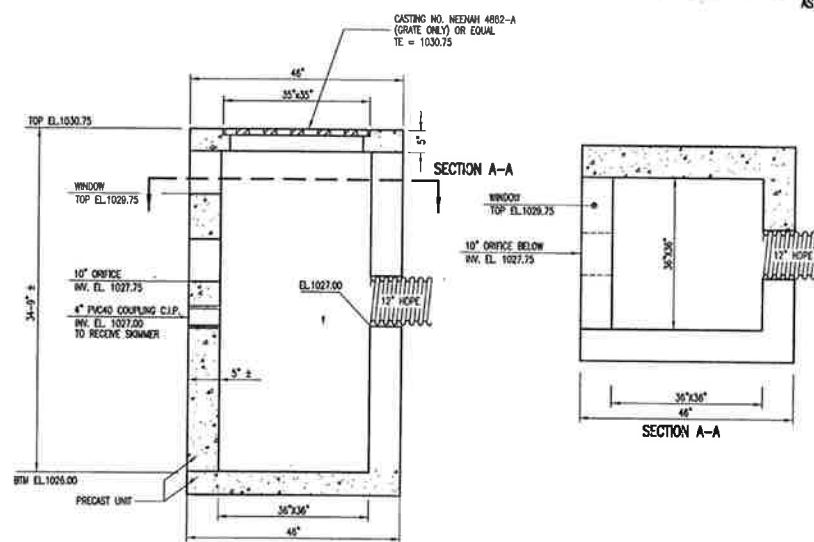


ASPHALT PAVEMENT SECTION

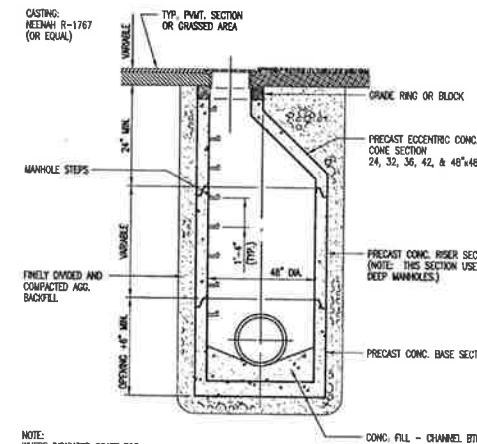


CONCRETE PAVEMENT SECTION
DUMPSTER PAD / DW APRONS

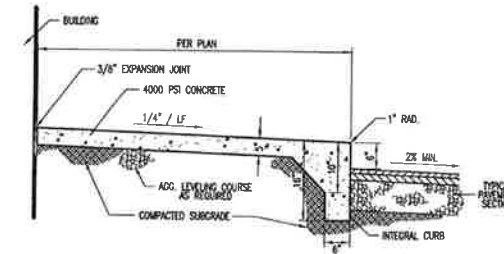
W	H	CONC. CY'S
12"	2'-0"	0.21
15"	2'-0"	0.27
18"	2'-0"	0.33
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45"	2'-0"	0.92
48"	2'-0"	0.99



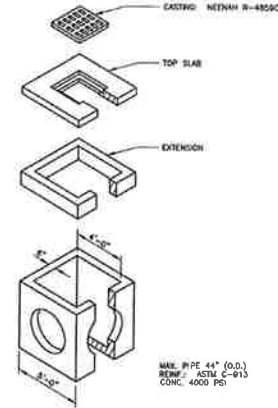
CB11A TYPE 2-3 CATCH BASIN



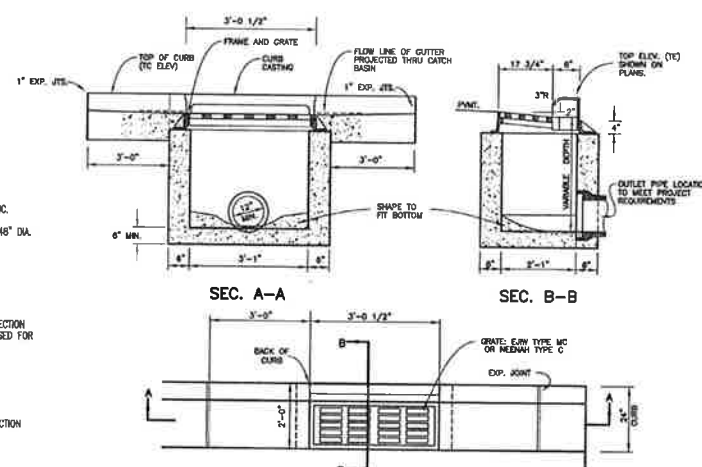
STORM MANHOLE TYPE "3"
ASTM C-478 (DEEP SECTION)



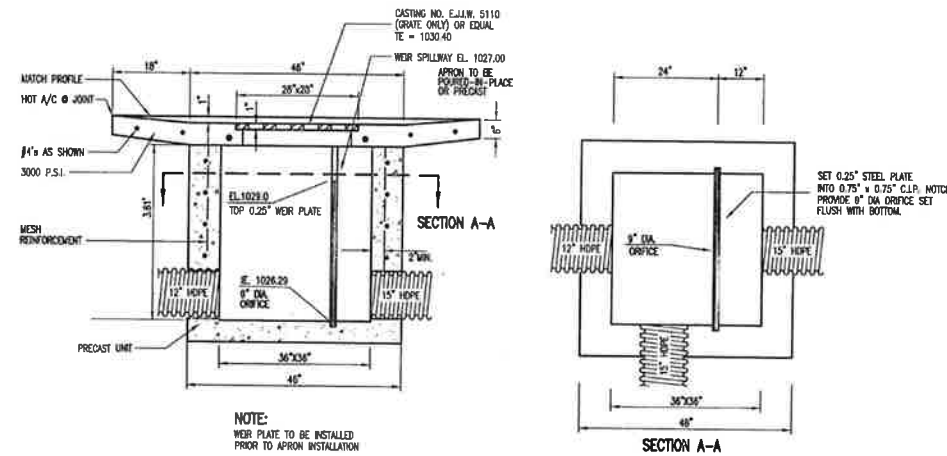
INTEGRAL SIDEWALK/CURB DETAIL



CATCH BASIN TYPE "2-4"
(O.D.O.T. SPEC.)



CATCH BASIN TYPE 1
CITY OF BROOKVILLE STD.



CS-11B TYPE 2-3 CATCH BASIN W/ APRON/WEIR/ORIFICE

PROFESSIONAL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
27 MARKET STREET - PO BOX 238
BROOKVILLE, OHIO 45309
PH: 937-433-2969 FAX: 937-433-5635

SUN REAL ESTATE
5701 PROGRESS DR. INDIANAPOLIS, INDIANA 46241
OFFICE: 317-247-5500 • FAX: 317-247-5551

PARKVIEW SUBDIVISION SEC. 3
LOT No. 2607 - 3.007 ACRES
SEC. 33, T6, RANGE 4 EAST
CITY OF BROOKVILLE,
MONTGOMERY COUNTY,
OHIO 45309

PROJECT H3
by HILTON

REVISIONS

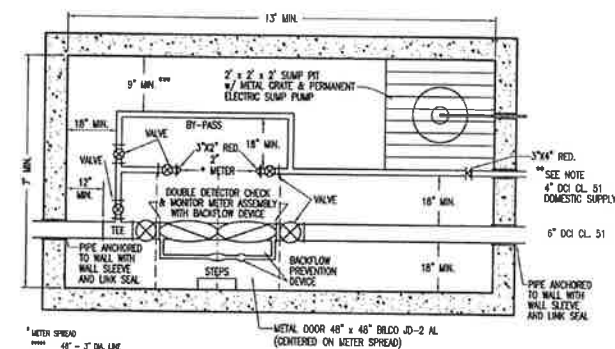
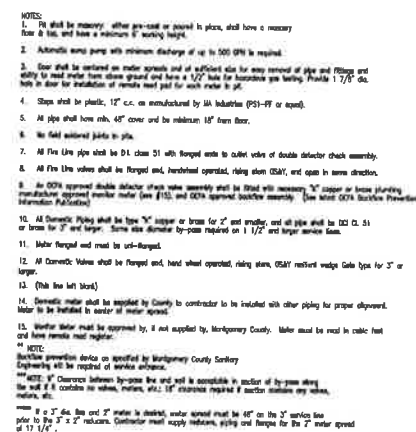
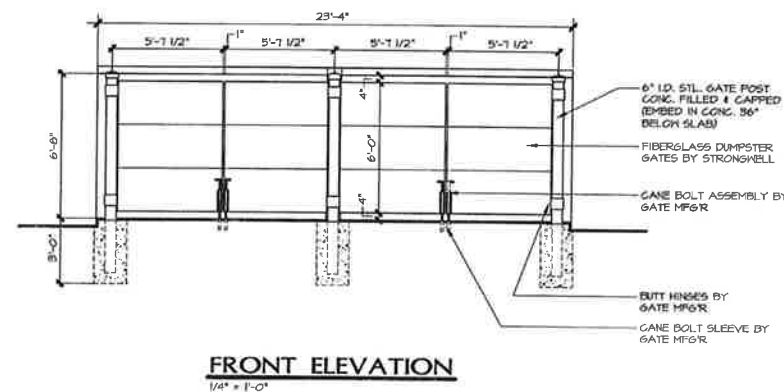
PROJECT NO:
202305

SHEET TITLE:
DETAIL SHEET

SHEET NO:
C-9

DETAIL SHEET





NOTE: PROVIDE FIRE DEPARTMENT
STANDPIPE & CONNECTION



DETAIL SHEET

**PROFESSIONAL
ASSOCIATES, INC.**
CONSULTING ENGINEER / SURVEYOR

516 PATRICIA FAYE CT.
BROOKVILLE, OH-IO 45309
PH. 937-238-4677 (C)



SUN
REAL ESTATE

3701 PROGRESS DR., INDIANAPOLIS, INDIANA 46241
OFFICE: 317. 947. 5500
FAX: 317. 947. 5501

PARKVIEW SUBDIVISION SEC. 3
LOT No. 2607 - 3.007 ACRES
SEC. 33, T6, RANGE 4 EAST
CITY OF BROOKVILLE,
MONTGOMERY COUNTY,
OHIO 45309

PROJECT H3 by HILTON

REVISIONS

PROJECT NO:

28010

SHEET TITLE:

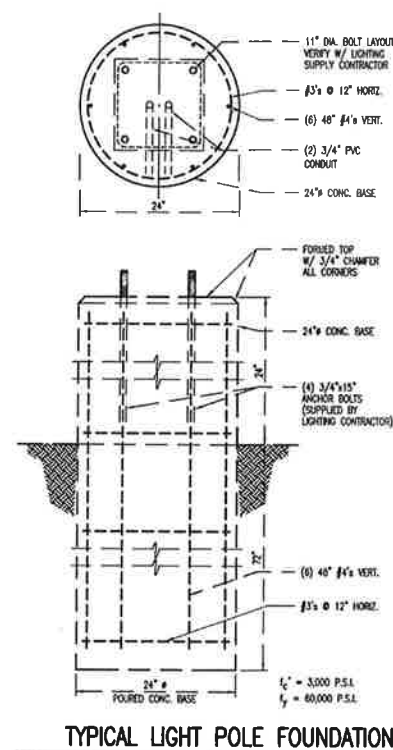
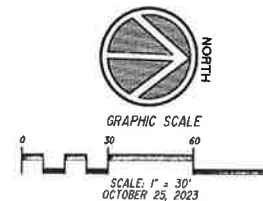
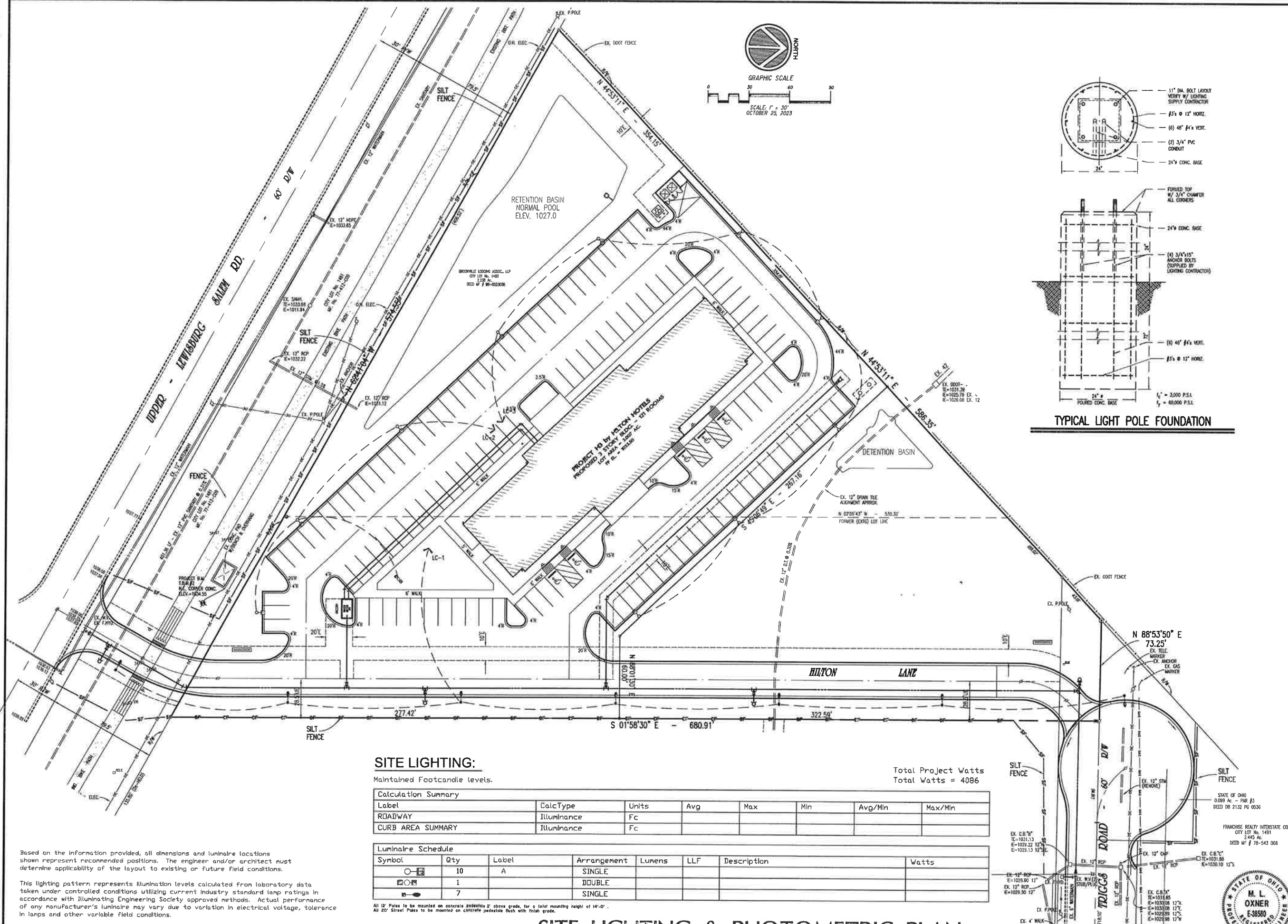
DETAIL SHEET

015755

SHEET NO.

C-10

05\10-DETAILS.dwg, 10/27/2023 10:58:29 AM



SITE LIGHTING:

Maintained Footcandle Levels.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ROADWAY	Illuminance	Fc					
CURB AREA SUMMARY	Illuminance	Fc					

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Watts
○	10	A	SINGLE				
○	1		DOUBLE				
○	7		SINGLE				

All 12' Poles to be mounted on concrete pedestals 2' above grade, for a total mounting height of 14'-0".
All 20' Street Poles to be mounted on concrete pedestals flush with final grade.

Total Project Watts
Total Watts = 4086

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

PROFESSIONAL ASSOCIATES, INC.
CONSULTING ENGINEER / SURVEYOR
516 PATRICK FAYE CT.
BROOKVILLE, OHIO 45309
PH: 937-238-1677

SUN REAL ESTATE
5701 PROGRESS DR., INDIANAPOLIS, INDIANA 46241
OFFICE: 317-247-5500 • FAX: 317-247-5551

PROJECT H3 by HILTON

PARKVIEW SUBDIVISION SEC. 3
LOT No. 2607 - 3.007 ACRES
SEC. 33, T6, RANGE 4 EAST
CITY OF BROOKVILLE,
MONTGOMERY COUNTY,
OHIO 45309

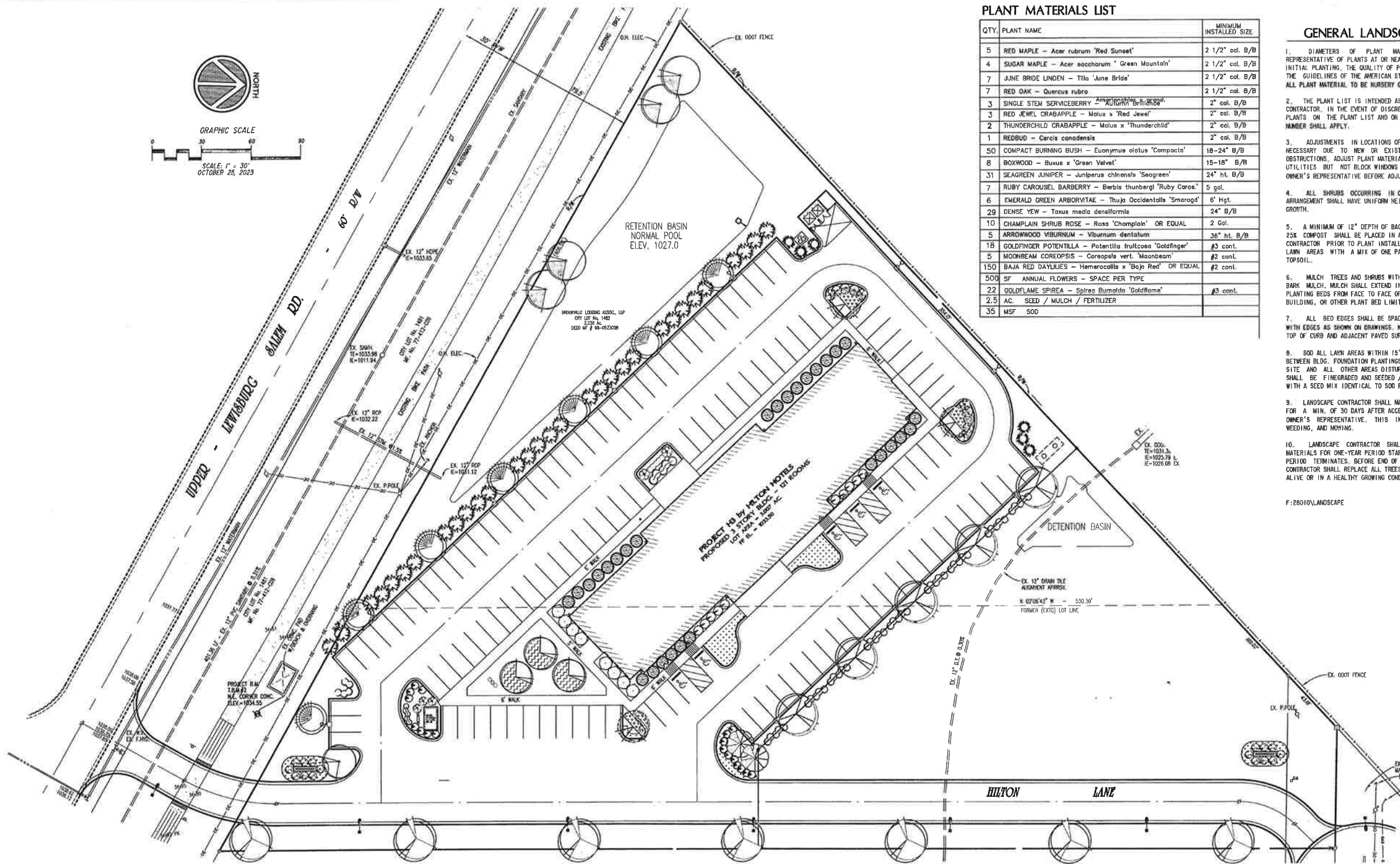
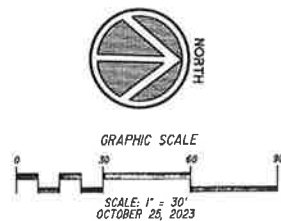
REVISIONS

PROJECT NO:
202305

SHEET TITLE:
STORMWATER / POLLUTION PREVENTION PLAN

SHEET NO:
C-11

STATE OF OHIO
M. L. OXNER
REGISTERED ENGINEER
E-38580



PLANT MATERIALS LIST

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE
5	RED MAPLE - <i>Acer rubrum</i> 'Red Sunset'	2 1/2" cal. B/B
4	SUGAR MAPLE - <i>Acer saccharum</i> 'Green Mountain'	2 1/2" cal. B/B
7	JUNE BRIDE LINDEN - <i>Tilia 'June Bride'</i>	2 1/2" cal. B/B
7	RED OAK - <i>Quercus rubra</i>	2 1/2" cal. B/B
3	SINGLE STEM SERVICEBERRY - <i>Amelanchier alnifolia</i>	2" cal. B/B
3	RED JEWEL CRABAPPLE - <i>Malus x 'Red Jewel'</i>	2" cal. B/B
2	THUNDERCHILD CRABAPPLE - <i>Malus x 'Thunderchild'</i>	2" cal. B/B
1	REDBUD - <i>Cercis canadensis</i>	2" cal. B/B
50	COMPACT BURNING BUSH - <i>Euonymus alatus 'Compacta'</i>	18-24" B/B
8	BOXWOOD - <i>Buxus x 'Green Velvet'</i>	15-18" B/B
31	SEAGREEN JUNIPER - <i>Juniperus chinensis 'Seagreen'</i>	24" ht. B/B
7	RUBY CAROUSEL BARBERRY - <i>Berberis thunbergii 'Ruby Caros.'</i>	5 gal.
6	EMERALD GREEN ARBORVITAE - <i>Thuja Occidentalis 'Smaragd'</i>	6" Hgt.
29	DENSE YEW - <i>Taxus media densiformis</i>	24" B/B
10	CHAMPLAIN SHRUB ROSE - <i>Rosa 'Champlain'</i> OR EQUAL	2 Gal.
5	ARROWWOOD VIBURNUM - <i>Viburnum dentatum</i>	36" ht. B/B
18	GOLDFINGER POTENTILLA - <i>Potentilla fruticosa 'Goldfinger'</i>	#3 cont.
5	MOONBEAM COREOPSIS - <i>Coreopsis vert. 'Moonbeam'</i>	#2 cont.
150	BAJA RED DAYLILIES - <i>Hemerocallis x 'Baja Red'</i> OR EQUAL	#2 cont.
500	ANNUAL FLOWERS - SPACE PER TYPE	
22	GOLDFLAME SPIREA - <i>Spiraea Bumalda 'Goldflame'</i>	#3 cont.
2.5	AC. SEED / MULCH / FERTILIZER	
35	MSF SOD	

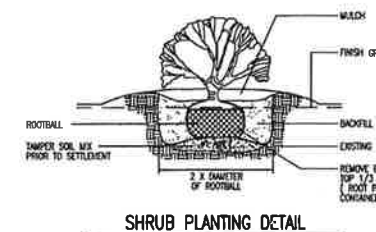
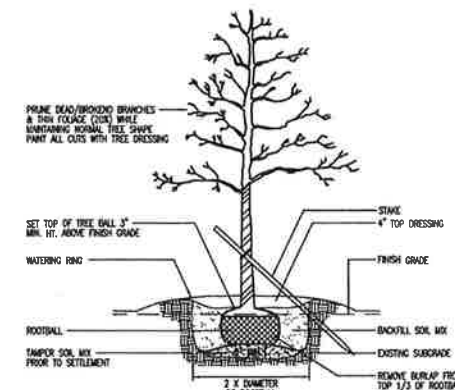
GENERAL LANDSCAPE NOTES

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING. THE QUALITY OF PLANT MATERIAL SHALL FOLLOW THE GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADJUST PLANT MATERIALS AS NECESSARY TO SCREEN UTILITIES BUT NOT BLOCK WINDOWS OR IMPEDE ACCESS. ADVISE OWNER'S REPRESENTATIVE BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH.
5. A MINIMUM OF 12" DEPTH OF BACKFILL MIX, 75% TOPSOIL AND 25% COMPOST SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL TREES IN LAWN AREAS WITH A MIX OF ONE PART COMPOST TO TWO PARTS TOPSOIL.
6. MULCH TREES AND SHRUBS WITH MAX. 3" DEPTH OF SHREDDED BARK MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. ALL BED EDGES SHALL BE SPADE CUT AND CLOSELY ALIGNED WITH EDGES AS SHOWN ON DRAWINGS. KEEP MULCH MIN. 1/2" BELOW TOP OF CURB AND ADJACENT PAVED SURFACES.
8. SOD ALL LAWN AREAS WITHIN 15' OF BACK OF CURB. SOD AREA BETWEEN BLDG. FOUNDATION PLANTINGS AND SIDEWALK. BALANCE OF SITE AND ALL OTHER AREAS DISTURBED BY SITE CONSTRUCTION SHALL BE FINEGRADED AND SEED / MULCHED, AND FERTILIZED WITH A SEED MIX IDENTICAL TO SOD PROVIDED.
9. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A MIN. OF 30 DAYS AFTER ACCEPTANCE OF THE WORK BY THE OWNER'S REPRESENTATIVE. THIS INCLUDES REGULAR WATERING, WEEDING, AND MOWING.
10. LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR PERIOD STARTING FROM DATE MAINTENANCE PERIOD TERMINATES. BEFORE END OF ONE-YEAR WARRANTY PERIOD, CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

F:26010/LANDSCAPE

LANDSCAPE MATERIAL LEGEND

	RED JEWEL CRABAPPLE		SINGLE STEM SERVICEBERRY		CHAMPLAIN SHRUB ROSE		EMERALD GREEN ARBORVITAE
	SUGAR MAPLE		RED OAK		DENSE YEW		RUBY CAROUSEL BARBERRY
	JUNE BRIDE LINDEN		RED MAPLE		BROADMOOR JUNIPER		MOONBEAM COREOPSIS
	RED BUD		SCOTCH PINE		BOXWOOD		GOLDFLAME SPIREA
	THUNDERCHILD		SEAGREEN JUNIPER		FEATHER REED GRASS		ANNUAL FLOWERS
			GOLDFINGER POTENTILLA		ARROWWOOD VIBURNUM		DAYLILIES
			COMPACT BURNING BUSH				



SHRUB PLANTING DETAIL

LANDSCAPE PLAN



PARKVIEW SUBDIVISION SEC. 3
LOT No. 2607 - 3.007 ACRES
SEC. 33, T6, RANGE 4 EAST
CITY OF BROOKVILLE,
MONTGOMERY COUNTY,
OHIO 45309

PROJECT H3
by HILTON

REVISIONS

PROJECT NO:
202305
SHEET TITLE:

LANDSCAPE PLAN

SHEET NO:

C-12

PROFESSIONAL
ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
217 MARKET STREET - PO BOX 238
BROOKVILLE, OHIO 45309
PH: 937-833-2569 FAX: 937-833-5626

SUN
REAL ESTATE
5701 PROGRESS DR. INDIANAPOLIS, INDIANA 46241
OFFICE: 317-247-5500 • FAX: 317-247-5551

MEMORANDUM:

DATE: NOVEMBER 10, 2023

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

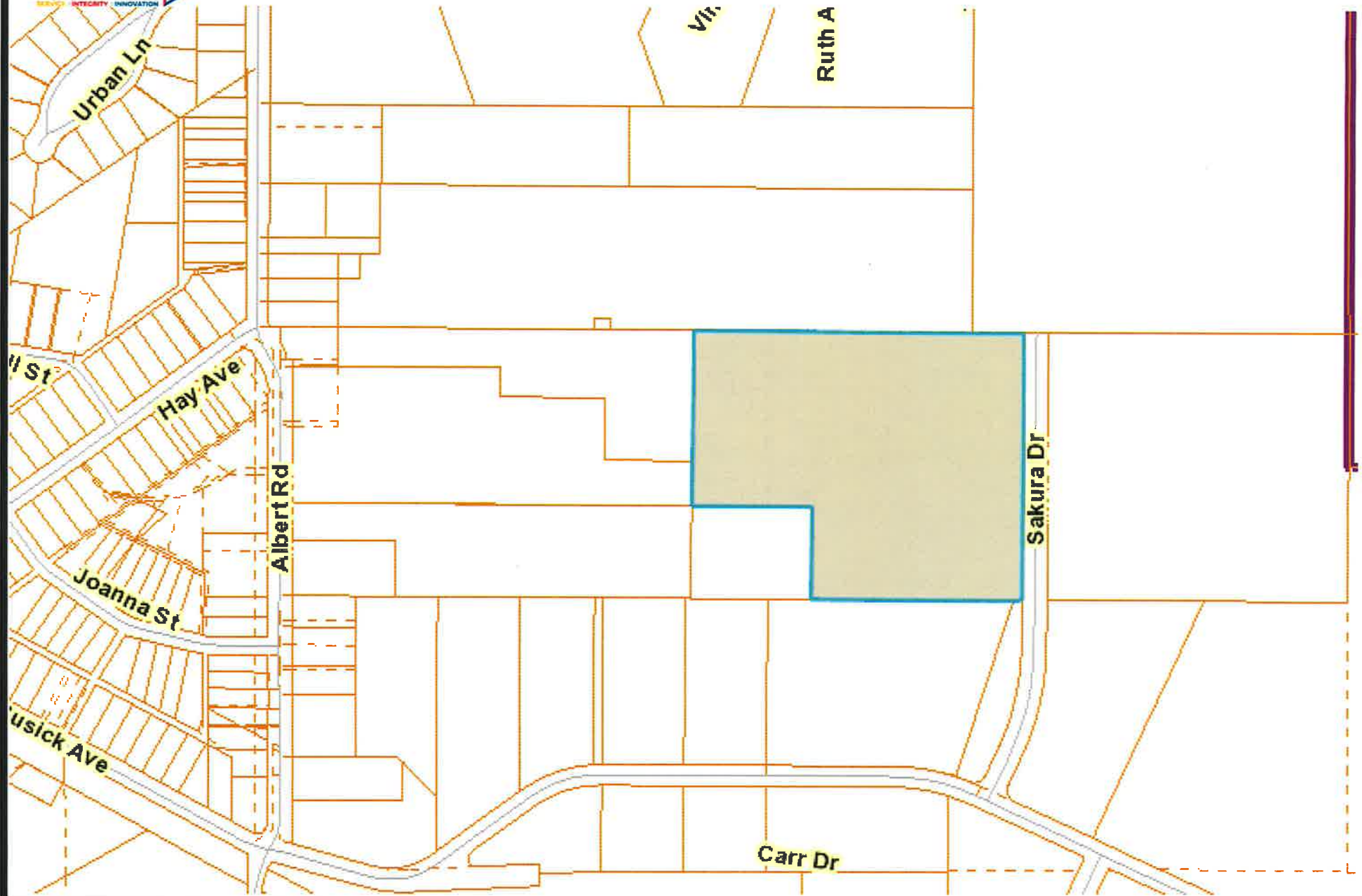
RE: PEPCON CONCRETE MIXING FACILITY

C.F. Poeppelman, Inc. DBA Pepcon, has submitted a special use application to construct a concrete mixing plant on Sakura Dr. in Brookville. A copy of the special use application is attached to this Memorandum.

The facility would be located on approximately six acres now owned by Green Tokai Co. Ltd. Green Tokai has agreed to sell the six acres to Pepcon. This parcel will be subdivided from the existing 10.546 acre parcel. A copy of the County Auditor Map for this parcel is attached to this Memorandum.

The property is zoned I-2 General Industrial District. Concrete Mixing Plants are a special use in the I-2 zoning district as set forth in Section 1145.02(b)(2). The application includes a proposed site plan for the project. Approval of this special use application and site plan would include authorizing gravel for the general truck drive areas rather than concrete or pavement. The site plan provides for a site berm on the north boundary that abuts the R-3 area, and a site berm adjacent to the land being retained by Green Tokai from the existing 10.546 acre parcel. The side yard and rear yard setbacks are below the 100 ft. standard in the I-2 zoning code for special uses, and by approving this application, the proposed setbacks set forth in the site plan would be approved. In addition, the cement storage silos would be 84 feet in height, which exceeds the building height of 45 feet for the I-2 zoning district.

It is requested that Planning Commission approve the special use application and site plan of C.F. Poeppelman, Inc. DBA Pepcon for a concrete mixing facility on Sakura Dr.



****DISCLAIMER:**

This map is a visual presentation of data to be used as a public resource of general information and is provided strictly as a courtesy. The Montgomery County Auditors Office makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any information provided herein.

Furthermore The Montgomery County Auditors Office shall assume no liability for

1. Any errors, omissions, or inaccuracies in the information provided regardless of how caused; or
2. Any decision made or action taken or not taken by the reader in reliance upon any information furnished hereunder.

Note: Exact property boundaries must be derived by a legal survey of the property.



1 inch = 419 ft

G/I'S DEPARTMENT

City of Brookville
"A Proud and Progressive Community"

Application #SU _____

ZONING APPLICATION FOR A SPECIAL USE PERMIT

The undersigned hereby applies for a **SPECIAL USE PERMIT**, to be issued solely on the basis of information contained herein, and with the knowledge that the falsification of any fact or statement submitted with, or within, this application shall render this application null and void. **(PERMIT SHALL EXPIRE IF USE HAS NOT BEGUN WITHIN SIX (6) MONTHS, OR IF DISCONTINUED FOR MORE THAN TWO (2) YEARS.)**

1. Applicant C.F. Poeppelman, Inc DBA Pepcon
2. Applicant address 4755 N. St Rt 721 Bradford, OH 45308
3. Phone (Hm) _____ (Bus) 937-448-2191 Interest in property Potential owner
4. Location or address of property to be affected West side of Sakura Dr, Brookville.
5. Legal description _____

6. Present Zoning classification I-2 General Industrial Existing _____
7. Proposed Special Use Concrete mixing plant per 1145.02(b)(2)
8. In order for a **SPECIAL USE PERMIT** to be processed, applicant must provide a narrative statement evaluating the effect of such elements as noise, glare, odor, fumes, and vibrations on adjoining property; and discussion of the general compatibility with adjacent and other properties in the district; and the relationship of the proposed use to the Zoning District Map.

See attachment "supplemental information"

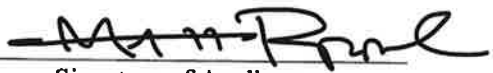
9. The Planning Commission shall establish beyond reasonable doubt that both the general standards and the specific requirements pertinent to each special use indicated herein shall be satisfied by the establishment and operation of the proposed special use.

10. Wherever no specific area, frontage and setback requirements are specified in provision for specific special uses, then the area, frontage and setback requirements in the applicable zone shall apply; provided, that the Planning Commission shall be authorized to waive or modify certain requirements as necessary to achieve compatible development with adjacent land areas as well as in the interest of the community in general. The Planning Commission may also impose such additional conditions, guarantees, and safeguards as it deems necessary for the general welfare, for the protection of individual property rights, and for insuring that the intent and objectives of this Ordinance will be observed.

11. Has previous application been filed for a SPECIAL USE PERMIT? No

12. When? _____ Results? _____

11/6/2023
Application Date


Signature of Applicant

OFFICE USE ONLY BELOW LINE

Reviewed by _____ Date _____

Appr/Denied Planning Commission _____ Date _____

Fee _____ Receipt Number _____ Date _____
(NON REFUNDABLE)



November 2023

Re: Application for Special Use Permit

Supplemental Information

C.F. Poepelman Inc DBA Pepcon intends to use the Property as a concrete ready mix plant to supplement its other current operations. A ready mix plant consists of aggregate storage bins located on the ground that feed a series of conveyors into larger storage bins located inside an enclosed building. Inside the building is where the aggregate is weighed, mixed, and measured and then conveyed into the ready mix truck barrel. The powdered cement is then dropped into the truck from an overhead enclosed storage silo. The cement, aggregate, and water are then mixed in the rotating truck barrel where it forms into concrete. This is visually represented in Picture 1 below.

Pepcon feels their intentions for the Property fit the criteria for General Industrial zoning:

- A. Pepcon to construct an earthen sight berm on the Eastern perimeter of the Property (less access for a driveway) the North Eastern portion adjoining the R3 zoned property, and also on the Southeastern edge. Pepcon will construct these berms as onsite material becomes available. The approximate locations can be seen on the attached conceptual site plan layout.
- B. Pepcon to install industry standard dust collection system at the cement/truck interface
- C. We do not feel glare, odor, fumes, or vibration will have any impact on the adjacent properties.
- D. Noise will be minimal and consistent with industrial uses, including normal truck traffic, and comparable with other local facilities in the same zoning.

Variance Considerations:

- 1. Pepcon would like to construct their facilities, including storage bunkers and cement silos, at a 15 foot setback from the property line. The retail aggregate bunkers will be at a 20 foot setback to accommodate a site berm.
- 2. Pepcon would like to use a combination of concrete and gravel for the driveways and general use areas. Consistent with our other ready mix plants, we prefer to use gravel for our general truck drive areas. The use of compacted gravel for the general traffic areas is preferred due to the ability to provide better dust control by applying calcium chloride onto the gravel. The liquid calcium chloride adheres to the compacted gravel, thus suppressing dust for an extended period of time. It is much harder to control airborne dust that has settled onto concrete driveways. Any type of liquid dust suppression placed onto concrete surfaces will only be temporary as it will either dry up, or run-off the concrete surface.
- 3. The two cement storage silos will each be a total of 84' above ground level. The height is required to maintain the appropriate volume of powered cement on-site to support the facilities demand. The height is also required since the powered cement is gravity fed into the top of the ready mix truck, thus the bottom elevation of the cement silo needs to be higher than the top of the ready mix truck.



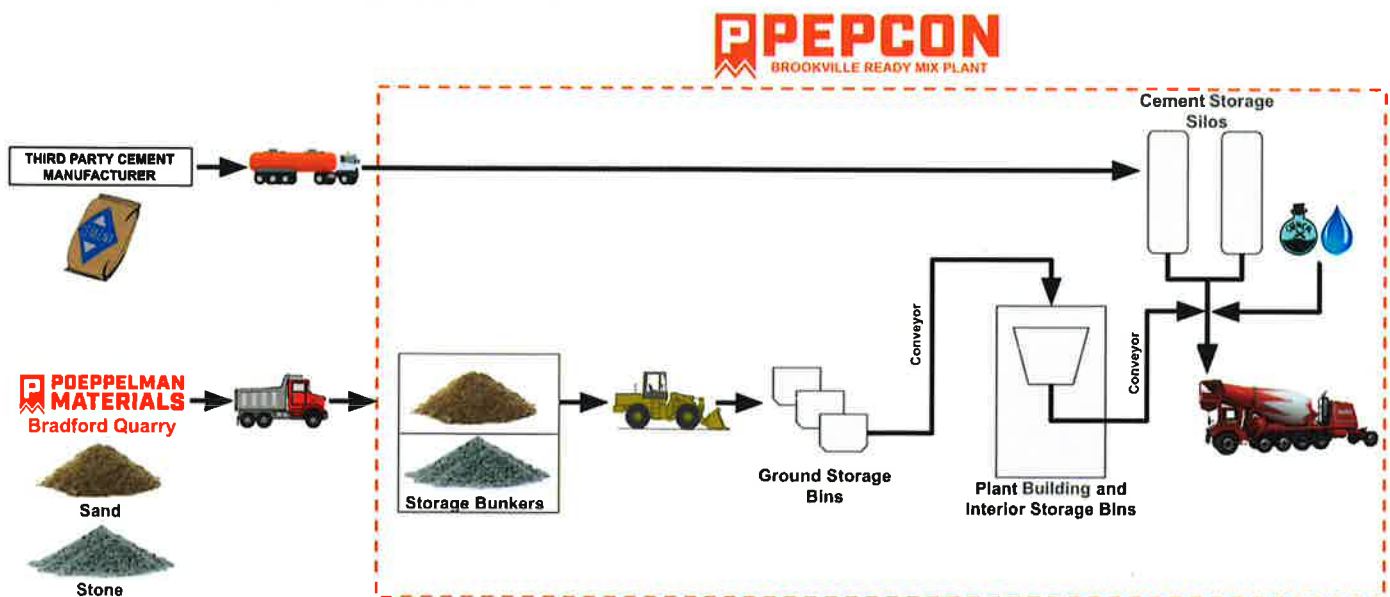
It will be in Pepcon's best interest to start construction ASAP after receiving all approvals. Pepcon would envision the timeline from approvals to end of Phase 4 to be 12 months.

- Phase 1: Construct access roads and an equipment laydown area.
- Phase 2: Install required utilities back into the property (natural gas, water, sewer, electric).
- Phase 3: Construct concrete foundations for the ready mix concrete plant building.
- Phase 4: Erect ready mix concrete plant, conveyors, and bins with an enclosed building.
- Phase 5: TBD, and not needed to operate. Build a stand alone shop and office.

About Poeppelman Materials and Pepcon:

We are a fifth generation aggregate producing and ready mix concrete supplying company. Our main office is located at our limestone quarry in Bradford, OH. We produce crushed limestone and natural gravel from our quarry deposit in Bradford. These materials are used in making ready mix concrete, along with many other building construction purposes. Pepcon also has three ready-mix concrete plants. One in Bradford, another in Versailles, OH, and a third in Union City, IN. The Property will be used to construct a fourth ready mix concrete plant. Brothers Ben and Matt Poeppelman are the fifth generation owners, and together own 100% of the company. We currently employ approximately 40 people. Our Purpose Statement is "Building the Foundation for a Better Tomorrow." This statement is core to our business, and is used as a filter for all business decisions. We have always been active and strong supporters of all the communities we operate within, and Brookville will be no different. Our family name is directly tied to our business, and we take great pride in making sure we are always doing what is best for our employees, customers, communities, and industry.

Picture 1: Basic Ready Mix Operations Process Flow



Picture 2: Example Ready Mix Concrete Plant (PEPCON Bradford Plant)



Picture 3: Example: Aggregate (Stone and Sand) Storage Bunkers

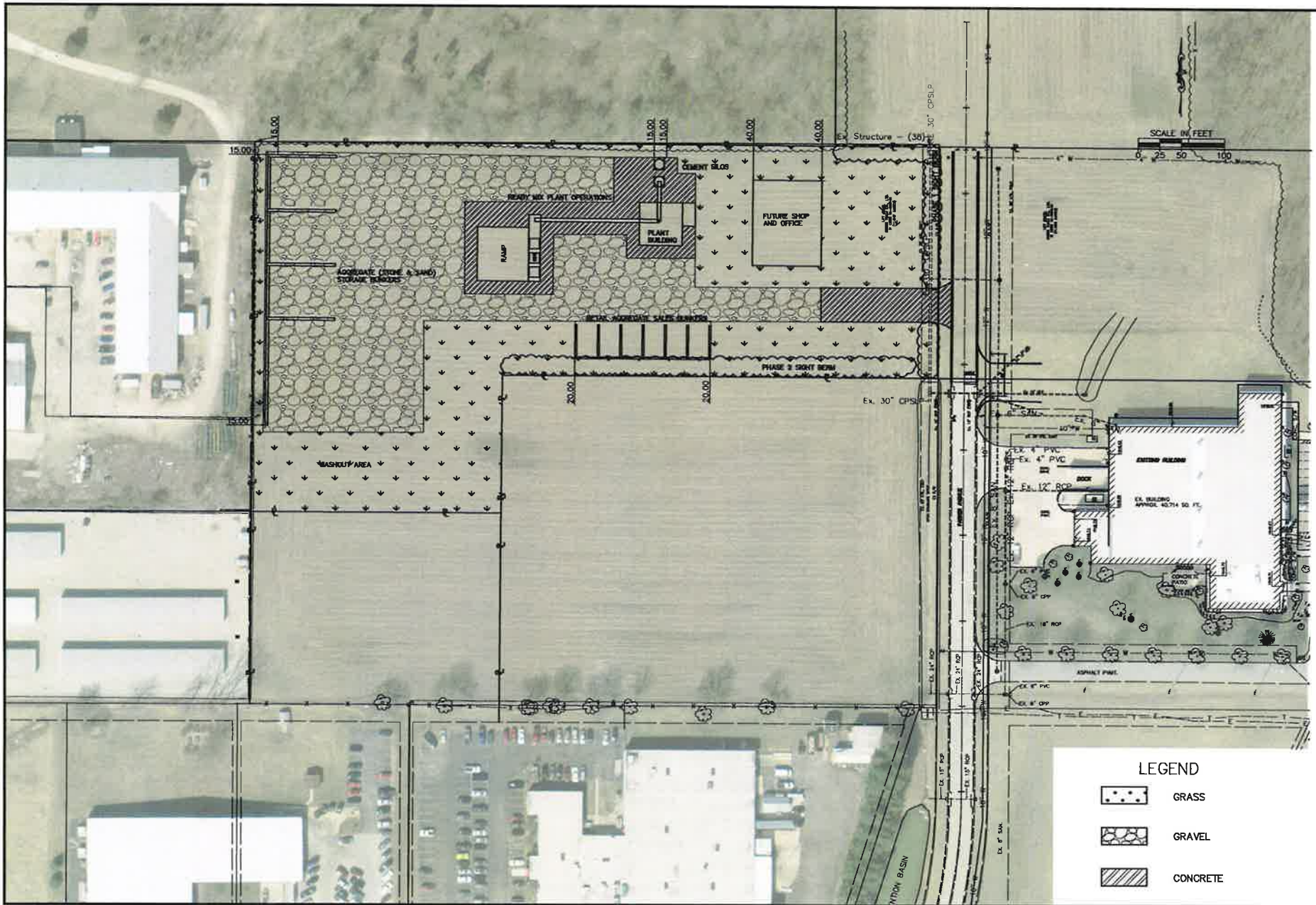


Picture 4: Example Retail Aggregate Sales Bunkers



Picture 5: Example Ground Storage Bins and Ramp





LEGEND

-  GRASS
-  GRAVEL
-  CONCRETE

PEPCON BATCH PLANT
CITY OF BROOKVILLE
CONCEPTUAL SITE LAYOUT

REVISIONS:

FILE NAME	WORTHY MAP
DRAWN BY	A.K.
CHECKED BY	M.S.
PROJECT NO.	MOT0202318
DATE	10-27-2023
SHEET NUMBER	1 OF 1

OFFICIAL ZONING MAP

~ LEGEND ~

- R-1A SUBURBAN RESIDENTIAL
- R-1B URBAN RESIDENTIAL
- R-1C URBAN RESIDENTIAL
- R-2 URBAN RESIDENTIAL
- R-3 MULTI-FAMILY RESIDENTIAL OR OFFICE RESIDENTIAL
- OS OFFICE SERVICE
- CB CONVENIENCE BUSINESS
- GB GENERAL BUSINESS
- HS HIGHWAY SERVICE
- CC COMMUNITY CENTER
- I-1 LIGHT INDUSTRIAL
- I-2 GENERAL INDUSTRIAL
- PR PLANNED RESIDENTIAL
- PMH PLANNED MOBILE HOME RESIDENTIAL
- PRVP PLANNED RECREATIONAL VEHICLE
- PC PLANNED COMMERCIAL
- P1 PLANNED INDUSTRIAL
- C CONSERVATION
- FP FLOOD PLAIN
- (P-D) PLAN DEVELOPMENT
- CORPORATION BOUNDARY
- ZONING DISTRICT BOUNDARIES

SCALE IN FEET
0 300 600 1200

REVISIONS

DATE	DESCRIPTION
03/22/97	WATKINS CORP. AND ASSOCIATES ASSESSED
04/14/98	ASSOCIATES ASSESSED
09/21/03	ASSOCIATES ASSESSED

2.1A SUBURBAN RESIDENT

-  R-1A SUBURBAN RESIDENTIAL
 R-1B URBAN RESIDENTIAL
 R-1C URBAN RESIDENTIAL
 R-2 URBAN RESIDENTIAL
 R-3 MULTI-FAMILY RESIDENTIAL
 OR OFFICE RESIDENTIAL
 OS OFFICE SERVICE
 CB CONVENIENCE BUSINESS
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 HS HIGHWAY SERVICE
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 I-1 LIGHT INDUSTRIAL
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 FC PLANNED COMMERCIAL
 PI PLANNED INDUSTRIAL
 C CONSERVATION
 FP FLOOD PLAIN
 (P-D)
 PLAN DEVELOPMENT
 CORPORATION BOUNDARY
 ZONING DISTRICT BOUNDARIES

DESCRIPTION

DATE	DESCRIPTION	IN
------	-------------	----

03/02/07	WEAPONS SUBSTANCES AND ASSOCIATIONS ADDED
04/14/08	FINANCIALS ADDED
05/31/13	ASSOCIATIONS ADDED

ZONING PERMITS 2023

ZONING PERMITS OCTOBER 2023											
Date	Address	Application	Name	Zoning Permit #	Special Use	Subdivision Major/Minor	Zoning Approved/Denied	Building # Residential Commercial	Building Completion Date	C/O	Misc. Permit Information
9/29/2023	401 Harper Creek Dr.	SFR 2961 sq. ft. slab	Arbor Homes	4575			A-11-07-23				
10/8/2023	278 Johnsville-Brookville Rd	SFR 2575 sq. ft.	Hughes	4576			A-10-13-23				
10/10/2023	103 Blue Pride Dr.	SFR 3684 sq. ft. slab	Hills	4577			A-10-10-23				
10/6/2023	485 Arlington Rd.	sign permit	A Plus Signs	4578			A-10-10-23				
10/11/2023	585 Golden Maple Ave.	pool permit	Knickerbocker	4579			A-10-11-23				
10/20/2023	725 Hunters Run Dr.	SFR 1627 sq. ft. basement	Fischer Homes	4580			A-10-26-23				
10/20/2023	272 Quail Hollow Dr.	SFR 2003 sq. ft. slab	Fischer Homes	4581			A-10-26-23				
10/20/2023	300 Dove Ct.	SFR 2796 sq. ft. basement	Fischer Homes	4582			A-10-26-23				
10/20/2023	260 Quail Hollow Drive	SFR 2973 sq. ft. slab	Fischer Homes	4583			A-10-26-23				
10/20/2023	713 Hunters Run Drive	SFR 2973 sq. ft. basement	Fischer Homes	4584			A-10-26-23				
10/24/2023	307 Dove Ct.	SFR 1864 sq. ft. basement	Fischer Homes	4585			A-10-26-23				
10/27/2023	95 N. Hill St.	Fence Permit	Friedlander	4586			A-10-30-23				