



PLANNING COMMISSION MEETING
Thursday, October 17, 2024, 7:30 PM
CITY HALL
301 SYCAMORE STREET, BROOKVILLE, OHIO 45309
www.brookvilleohio.com

Agenda

- I. Opening**
 - a. Call to Order
 - b. Pledge of Allegiance
 - c. Roll Call
- II. Adoption of Agenda**
- III. Approval of Minutes**
 - a. Approval of September 19, 2024 Meeting Minutes
- IV. Site Plan - Expansion of Medical Office - 98 Mosier Parkway**
- V. Reports**
 - a. Law Director
- VI. Old Business**
- VII. New Business**
- VIII. Adjournment**

Chairperson Ryan Henderson • Mayor Chuck Letner
Members: • Ken Claggett • Tony Ezerski • Damian Kristof • Curt Schreier • Jeff Wright

Brookville Planning Commission
Regular Meeting
September 19, 2024

The Regular Meeting of the Brookville Planning Commission was called to order by Chairperson Henderson at 7:30 p.m. on September 19, 2024. The meeting was held in the City Council Chambers. The Pledge of Allegiance was recited. Mayor Letner, Members Claggett, Ezerski, Kristof, Schreier and Wright; Manager Kuntz, Law Director Stephan and Clerk Duncan were present.

Roll call by Clerk Duncan.

Motion by Claggett, second by Kristof to adopt the Agenda as presented. All yeas, motion carried.

Motion by Ezerski, second by Kristof to correct the attendance on the July 18, 2024 Planning Commission Meeting minutes. All yeas, motion carried.

Motion by Kristof, second by Schreier to approve the minutes of the August 15, 2024 Planning Commission Meeting. All yeas, motion carried.

Law Director Stephan reported Terra Nova Development Group Inc. has filed a preliminary plat application for Arlington Woods II Subdivision Sections One, Two and Three. This subdivision is located on Westbrook Road west of the Arlington Woods subdivision. The proposed subdivision is 23.952 acres and includes County Auditor Parcel Numbers COS 00314 0057 and COS 00314 0063. The property is zoned R-1B Urban Residential District. The property is part of 78.11 acres that was annexed into the City of Brookville on September 3, 1991. The property was zoned R-1B on December 3, 1991. The preliminary plat provides for 64 residential lots to be developed in three sections. The lots meet all the site development regulations for R-1B lots. The preliminary plat provides for the extension of Meadow Glen Avenue to Westbrook Road. Meadow Glen Avenue currently ends at the north boundary of this property, and it was designed to connect to Westbrook Road when it was constructed as a part of the Sterling Meadows Subdivision. Law Director Stephan requested Planning Commission approval of the preliminary plat for Arlington Woods II Subdivision. Law Director Stephan advised the engineer and developers are present this evening to answer any questions.

Mike Oxner, of Professional Associates, advised the preliminary plan is identical to the plan submitted and approved by Planning Commission in 2003. This project will be built in three phases. The first phase will be 25 lots from Meadow Glen Avenue south to Westbrook Road. Mr. Oxner stated all of the existing utilities will run from the north to the south, with a tie-in to the existing 12" watermain on Westbrook Road. Stormwater will be mitigated by the creation of one additional retention basin and using the existing basin that was created as part of Sterling Meadows, Section 7.

Chairperson Henderson inquired if the new storm retention will outlet into the existing and then off and out, or is there a new outlet?

Mr. Oxner replied it is routed around it although they are tied together hydraulically.

Member Ezerski asked what size sanitary main they are tying into?

Mr. Oxner replied it is a 10-inch extension dropping down into an 8-inch.

Member Ezerski asked if a traffic analysis has been done?

Law Director Stephan replied a traffic analysis has not been done but this design is consistent with the plan to have Meadow Glen extend down to Westbrook Road. City staff believes it will actually lower the number of cars on Arlington Road because it will provide a new route to connect all of the Meadow Glen subdivisions to Westbrook Road and also up to Upper Lewisburg Salem Road.

Member Ezerski observed traffic will increase on Westbrook Road.

Law Director Stephan stated staff does not believe there are any issues with the entrance on Westbrook Road.

Member Wright asked for clarification on whether this subdivision is 25 acres of 75 acres total?

Law Director Stephan stated this project is 23.952 acres of 71 acres that were initially annexed into Brookville. Part of those 71 acres have already been developed as part of Arlington Woods.

Member Wright asked if there is any land remaining of the original 75 acres that is not part of this development or an existing development?

Law Director Stephan replied there is a large farmhouse with five to six acres that has not been developed, which is zoned R-1B.

Member Ezerski inquired whether city staff is confident in being able to uphold other services-such as water, sanitary, police, fire and school?

Law Director Stephan replied staff feels confident that the city can provide all the available services. Our engineer is reviewing the plan and making final comments.

Member Ezerski inquired how many new residences, including this development, have been added to Brookville in the last 18 months?

Law Director Stephan replied he recently completed an analysis of the last three years. The number of new home permits were 32, 34, and 45 respectively, year to date.

Member Ezerski asked about the number of new apartments?

Law Director Stephan replied when they are completely built out there will be 80 units in the apartments.

Member Ezerski asked if the Service Department has requested additional personnel to account for this growth?

Manager Kuntz replied the Service Department has not requested additional personnel. Manager Kuntz reminded Planning Commission that this project was approved in 2003. Planning Commission is considering the subdivision at tonight's meeting.

Member Ezerski replied he is trying to look at it holistically.

Manager Kuntz asked Member Ezerski to clarify.

Member Ezerski stated he is trying to understand the totality of the impact, stating 64 houses does not really increase traffic that much but 64 houses plus 81 apartments will.

Member Wright questioned the relevance of the 2003 plan because other things have changed in the community. Member Wright stated he understands this has already been annexed and approved but maybe under New Business, Planning Commission should consider incorporating a statute of limitations on zoning because the passage of time makes things much less relevant.

Law Director Stephan agreed that the fact that this was previously approved does not mean you have to vote a particular way. The point is that this exact same design was previously approved by Planning Commission in 2003. It is consistent with what the Comprehensive Land Use Plan has been for the last 20 years and the extension of Meadow Glen to Westbrook Road is a part of the Comprehensive Land Use Plan. Law Director Stephan stated a previous Planning Commission has looked at this and found it to be appropriate.

Manager Kuntz stated we are trying to provide legal context on what Planning Commission is able to consider and not able to consider from a staff perspective. If this was a rezoning application, or a new project in terms of getting a new zoning classification, then many of those things can be considered. This is a project that was previously approved under the current zoning and meets all the zoning requirements.

Member Wright replied that is why he suggested discussing a statute of limitations under New Business.

Law Director Stephan commented that permitted uses typically do not have a statute of limitations. When an individual purchases property with a particular zoning category on it, they are purchasing it based on the idea that that use is going to be permitted in the future. When an individual buys a lot in Brookville to build a house and that lender is processing a loan, they will call the city and ask what the zoning is and if they can build this house there. When someone buys property, whether it is a year ago or ten years ago, if there is a particular zoning on it, they expect to be able to carry out certain permitted uses.

Member Wright agreed with that concept but countered when looking at R-1A or R-1B zoning classification for a large amount of land, thirty years makes a significant impact on the community, particularly when you are looking at putting in 75 houses.

Law Director Stephan replied that is why we are updating the Comprehensive Land Use Plan. There may be some revisions to the zoning categories after the plan is updated.

Member Wright stated he was shocked to see this subdivision when he thinks about the community's voice. Member Wright wondered what other blind spots there are that the Planning Commission is not aware of.

Manager Kuntz commented that is one of the reasons staff has arranged a training session for Planning Commission with outside legal counsel. There are some limitations on what we can do as a community and as a Planning Commission and certain property rights that property owners are afforded. There are also certain practices such as updating the Land Use Plan and after that updating the zoning code. Manager Kuntz stated over the course of thirty years, things change in industry and communities change, and those are all things that should be evaluated up every so often. However, there are processes that we need to take in order to successfully accomplish any changes and legal processes we have to take to make sure that any changes are legally binding.

Member Wright asked if there is a map of the acreage that shows zoning?

Manager Kuntz replied we have a zoning map which shows all of our zoning classifications.

Member Claggett commented that in his opinion, Arlington Woods is one of the most beautiful subdivisions in Brookville. Member Claggett inquired about the quality of houses that will be built in this subdivision and whether they would be brick.

Tim Shellabarger, of Arcon Homes, presented some renderings, stating they will be bringing in a new farmhouse contemporary design. Brick is not necessarily the most expensive, the value of a property is based on the house built on it. The potential value of these homes will be \$400,000 to \$800,000. They hope to start construction in November and be ready for asphalt in March. They would like to compliment the current Arlington Woods homes.

Member Wright asked if there will be an HOA?

Jeff Warner, of Arcon Homes, replied they will have an HOA which will maintain the entrance and the ponds. They would like to add a sidewalk back to the ponds, with amenities like benches and possibly a gazebo.

Member Wright asked if their company competes more with Landis Builders or Fischer Homes?

Mr. Warner replied they are a custom home builder similar to Landis Homes.

Member Wright inquired about putting the Planned Overlay Development on this subdivision?

Law Director Stephan stated the same covenants and restrictions apply to this final plat that are currently on Arlington Woods. An HOA is mandated by the city where there is storm detention.

General discussion followed regarding basements, comps, building materials and light pollution.

Motion by Kristof, second by Schreier to approve the Arlington Woods II Subdivision Preliminary Plat as presented. Letner yea, Schreier yea, Wright abstain, Ezerski abstain, Kristof yea, Claggett yea, Henderson yea. Motion carried with five yeas and two abstentions.

Law Director Stephan requested that Planning Commission also approve the Final Subdivision Record Plan for the first phase of Arlington Woods II Subdivision. The Arlington Woods II Section One Final Subdivision Plan contains 25 lots for single family housing that will be built in the first phase of this project. The Arlington Woods II Section One Final Subdivision Plan also provides for the completion of the extension of Meadow Glen Ave. to Westbrook Road. The record plan is consistent with the preliminary plat for this subdivision that Planning Commission approved earlier in this meeting.

Chairperson Henderson inquired if guardrail will be installed at either end of the dead end?

Mr. Oxner replied both of the dead ends will feature Montgomery County end of road signs with reflectors.

Law Director Stephan confirmed for Member Schreier that the total number of homes to be built is 64.

Motion by Schreier, second by Kristof to approve the Arlington Woods II Section One Final Subdivision Record Plan as presented. Schreier yea, Wright abstain, Ezerski abstain, Kristof yea, Claggett yea, Letner yea, Henderson yea. Motion carried with five yeas and two abstentions.

Law Director Stephan advised he will ensure Planning Commission gets a copy of the current zoning map for the City of Brookville.

Law Director Stephan reported that City Council tabled the ordinance on the large lot zoning based on meeting discussion that the Comprehensive Land Use Plan Update should be completed before any new zoning districts are established.

Member Ezerski asked if Council is required to take action on the proposed zoning district or can they table it indefinitely?

Law Director Stephan replied that City Council has the legal ability to table the proposed zoning district ordinance. While Planning Commission can make recommendations for text amendments, City Council must pass an ordinance to adopt any text amendments.

Member Ezerski asked if it would be worth it for him to submit another proposed zoning classification with a slightly smaller lot size? Member Ezerski expressed concern that if the referendum on the ballot regarding the property zoning across from the firehouse is approved, Planning Commission will be left with the exact same zoning classifications, which is not listening to the citizens.

Chairperson Henderson replied he does not think City Council will change their opinion to wait on the updated Comprehensive Land Use Plan before establishing any zoning text amendments.

Member Wright commented he does not see what is wrong with adding another tool to the tool kit.

Chairperson Henderson agreed, stating Planning Commission was trying to be proactive and plan so they have the tools ready to deploy when the Comprehensive Land Use Plan is updated. His opinion is that Council will not act on another proposed text amendment with smaller lots until the Comprehensive Land Use Plan is updated.

Member Schreier commented the updated Comprehensive Land Use Plan will make recommendations if new zoning use classifications are warranted based on our demographics. If the referendum is passed that property can be zoned R-1A.

Member Ezerski stated his concern is that we are exposed before the Comprehensive Land Use Plan is put in place and that we are not listening the citizens of Brookville.

Member Wright commented if there is a moratorium on annexation, which is a direct response to too much housing, there should be a moratorium on the changing of zoning codes throughout this same period of time. Member Wright stated if the referendum is approved, perhaps the land should remain a rural classification, which is vastly larger than what was proposed.

Manager Kuntz reminded everyone of the Planning Commission training on September 25 at 6:00 p.m. in the City Council Chambers.

Member Wright asked if he could attend the training virtually as he will be out of town.

Manager Kuntz advised the training session will be recorded for later viewing.

Member Schreier suggested Member Wright submit a list of any questions he has prior to the training session.

Member Claggett asked if Planning Members are not allowed to vote virtually?

Manager Kuntz advised the State of Ohio allowed virtual participation for public meetings during Covid. That legislation expired two years ago so we have discontinued virtual participation.

Member Wright asked if virtual participation could be allowed at a municipal level?

Manager Kuntz replied there were technological reasons for discontinuing it as well. We were the only jurisdiction to continue virtual participation, so we made the decision to discontinue it.

Member Wright stated it is the same whether he is here in person or on a screen.

Manager Kuntz replied government and private entities are totally different.

Member Ezerski commented that is not true. He works for the military and the federal government, and they allow virtual meeting participation.

Manager Kuntz replied military and federal government compared to local government are also totally different things.

Manager Kuntz reported the Steering Committee for the Comprehensive Land Use Plan Update interviewed four companies and will be moving forward with a recommendation at the next City Council meeting.

General discussion followed regarding the Comprehensive Land Use Plan Update process.

Motion by Claggett, second by Kristof to adjourn. All yeas, motion carried.

Kimberly Duncan, Clerk

Ryan Henderson, Chairperson

MEMORANDUM:

DATE: OCTOBER 9, 2024

TO: CITY OF BROOKVILLE PLANNING COMMISSION

FROM: RODNEY L. STEPHAN, LAW DIRECTOR

RE: SITE PLAN-EXPANSION OF MEDICAL OFFICE-98 MOSIER PARKWAY

A site development plan application has been filed for a building addition at 98 Mosier Parkway. A copy of the application and site plan is submitted to Planning Commission with this Memorandum.

The building is currently used as a medical office. A medical practice would be occupying the expanded building, and therefore, the use of the building would remain the same as the current use.

The site plan provides for a building addition would add 5590 sq. ft. to the existing building.

The plan modifies the existing parking lot and provides additional parking spaces for the building expansion.

The site plan is in compliance with the I-2 zoning requirements.

It is requested that Planning Commission approve the site plan for the expansion of the medical facility at 98 Mosier Parkway.



SITE DEVELOPMENT PLAN APPLICATION

The undersigned hereby applies for Site Development Plan Approval. The review procedure and criteria are established in Chapter 1167 of the City of Brookville Zoning Code. Section 1167.05 sets forth the required contents of the Site Development Application and is attached to this Application. The Zoning Enforcement Officer is authorized to waive any requirements that do not apply to the proposed project, and to permit the existing conditions map and site plan to be combined into a single map.

Applicant:

1. Applicant MOSIER PARKWAY LLC
2. Contact Person: JASON LINCOLN
3. Contact Address: 11148 WOODWARD LANE, CINCINNATI, OH 45241
4. Contact Email: JLINCOLN@VITAMODERNHOMES.COM

Project Site:

1. Project
Address: 98 Mosier Pkwy, Brookville, OH 45309
2. Montgomery County County Auditor Parcel ID: C05 00503 0017
3. Existing Zoning District: I-2 (General Industrial)
4. Describe Existing Use of the Property: _____

Proposed Use of the Property: Describe the proposed use of the property:

Medical office, which is it's current use. The project is a building addition for expansion of the current practice.

Buildings: For any buildings to be constructed on the project site, please include the following information on the site development plan:

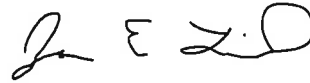
1. Building Height: 26'-5" (max @ gable ridge)
2. Building Footprint Area: 10,486 sf
3. Building Floor Area: 9,810 sf
4. Front Yard Setback: 49 ft
5. Rear Yard Setback: 118 ft
6. Side Yard Setback: 103 ft (west) 78.70 ft (east)

Setbacks are measured from the foundation of the building to the boundary line of the property.

Traffic Study: Under 1167.05(e), the Planning Commission or City Manager may require the applicant to provide a traffic study.

The applicant hereby certifies that they have submitted with this application the plat plan, existing conditions map, and site development plan required by Section 1167.05 unless any of those requirements are waived by the Zoning Enforcement Officer. Upon review of the site development plan, the Zoning Enforcement Officer or Planning Commission may request additional information from the applicant, and the applicant shall be permitted to supplement or amend this application to provide the requested information.

The applicant hereby certifies that, to the best of my knowledge, the information contained in this application is true and correct. Furthermore, I hereby certify that I am the property owner or the duly authorized representative or agent of the property owner for this application.



9/24/2024

Date

Signature of Applicant

JASON E. LINCOLN

Printed Name of Applicant

Approved by:

Zoning Enforcement Officer

Date

Planning Commission

Date

Fee Paid: _____

Date: _____

1167.05 CONTENTS OF SITE DEVELOPMENT APPLICATION.

The application shall include the following information and material for sites and development projects. Except, however, the Zoning Enforcement Officer is authorized to waive requirements in this section which are not affected by or do not apply to the proposed project:

(a) Site Development Plan Application.

(1) A completed application form provided by the Zoning Enforcement Officer.

(2) A plat plan of the parcel, lots, or parts or portions thereof, drawn to scale showing dimensions, as certified by a registered surveyor or a registered professional engineer, registered with the State of Ohio, as a true copy of the parcel, lots, or portions thereof, according to the registered or recorded plat of such land, also by proof that the property has been surveyed and that the corners have been marked in a permanent manner so as to be located easily. However, the Zoning Enforcement Officer may waive the certified plat if in his opinion such information is unnecessary for proper review and identification.

(b) An existing conditions map shall show the location, dimensions, size and height of the following, as applicable:

(1) Sidewalks, streets, alleys, easements and utilities, including street lighting.

(2) Buildings and structures.

(3) Septic fields, wells and public sewer and water systems.

(4) Slopes, particularly slopes specifically in excess of fifteen percent (15%), and terraces and retaining walls.

(5) Driveways, entrances, exits, parking areas and sidewalks.

(6) Water mains and fire hydrants.

(7) Natural and artificial watercourses and bodies of water and wetlands.

(8) Limits of flood plains.

(9) Areas that can reasonably be expected to or which do contain soils or materials contaminated with but not limited to heavy metals, petroleum products, PCB's, pesticides, or other toxic or hazardous materials.

(10) Underground storage tanks, if any.

(11) The topography of existing ground and paved areas, and elevations of streets, alleys, utilities, sanitary and storm sewers, buildings and structures. Topography is to be shown by dashed lines illustrating two (2) foot standard contour intervals and/or spot elevations where necessary to indicate flat areas, as appropriate.

(12) General alignment and lengths of all streets and all property lines.

(13) All fences and walls

(14) All building restriction lines, highway setback lines, easements, covenants, reservations and rights-of-way.

(15) Date, scale and north arrow.

(16) Existing development on the site including principal and accessory buildings, off-street parking and loading areas, and other improvements, as applicable.

(c) A separate site development plan shall be prepared to show the general location, dimensions, size and height of the following regarding the proposed development:

(1) For a site development plan which includes any existing structures or other improvements, an indication of those improvements that are to remain and those which will be removed.

(2) Sidewalks, streets, alleys, easements and utilities, including street lighting and underground conduits for street lighting.

(3) Building and structures with entrances and exits identified.

(4) Utility plan for water and sewage disposal.

(5) Driveways, entrances, exits, parking areas and sidewalks.

(6) Water mains and fire hydrants.

(7) Methods to control erosion on slopes of fifteen percent (15%) or more.

(8) Proposed recreation areas.

(9) Calculations of the following, as applicable:

A. Number of dwelling units or square footage of non-residential uses;

B. Number of parking spaces;

C. Number of loading spaces;

D. Total land area;

- E. Total landscaped area;
- F. Total open space; and
- G. Total impervious surface.

(10) Tentative plans for collecting and depositing storm water and the method of treatment of natural and artificial watercourses, including a delineation of proposed limits of floodplains, if any.

(11) A general indication of proposed grading, surface drainage, terraces, retaining wall heights, grades on paved areas and ground floor elevations of proposed buildings and structures, shown by two (2) foot contours and approximate elevations.

(12) A landscape plan showing the location, names and area coverage of trees, shrubs and ground cover to be planted and the areas to be retained in natural vegetation.

(13) Plans for minimizing the impact on existing wetlands.

(14) A light plan indicating all exterior building mounted and free-standing lights and structures including overall height, type of lamp and luminaries.

(15) Exterior building elevations of all proposed structures and exterior elevations of existing buildings when existing buildings are proposed to be structurally altered. Elevations must indicate the materials to be used in the design of the structure and the proposed color scheme.

(16) Elevations of proposed signage as well as the intended sign message/display and the materials and colors intended for the sign.

(17) A location map locating the site in relation to the nearest intersection of two more streets at a scale that can be easily traced.

(d) Combining Existing Conditions Map and Site Plan. The requirements for each the Existing Conditions Map and Site Plan under subsections (b) and (c) above may be combined in a single map upon approval of the Zoning Enforcement Officer.

(e) Traffic Study. The Planning Commission or the City Manager may require the Applicant to provide a traffic study to be prepared by a professional traffic engineer that provides recommendations for traffic generated by the development, and evaluates the impact of traffic generated by the development on the existing public streets of the City of Brookville, and also assesses the need for additional improvements to the existing public streets to address increased traffic created by the development.

(Ord. 2004-06. Passed 8-3-04.)

BROOKVILLE FAMILY CARE BUILDING ADDITION

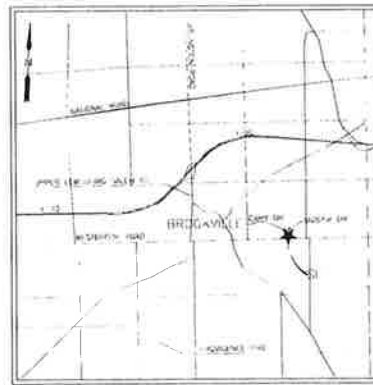
GENERAL NOTES

- 1) ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND CONFORM WITH THE CITY OF BROOKVILLE STANDARDS AND SPECIFICATIONS. ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER IN CHARGE.
- 2) ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BROOKVILLE STANDARDS.
- 3) ALL TRENCH EXCAVATION WITHIN FIVE FEET OF THE EDGE OF AN EXISTING OR PROPOSED PAVEMENT SHALL BE IN ACCORDANCE WITH ODOT ITEM 811 CONDUIT, TYPE B PIPE. TRENCHES OUTSIDE OF THE FIVE FOOT LIMIT OF THE EDGE OF AN EXISTING OR PROPOSED PAVEMENT SHALL BE IN ACCORDANCE WITH ODOT ITEM 811 CONDUIT, TYPE C.
- 4) ALL COMPONENTS OF ACCESS FOR HANDICAP, INCLUDING SIDEWALK, RAMP, PARKING AND BUILDING ACCESS SHALL CONFORM TO THE LATEST ADA REQUIREMENTS.
- 5) ALL FIELD TIE ENCOUNTERED SHALL BE REPLACED, REMOVED OR CONNECTED TO THE STORM SEWER SYSTEM.
- 6) CURB RAMP SHALL BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA REQUIREMENTS. SEE DETAIL SHEET.
- 7) ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHOULD NOTIFY THE FOLLOWING AGENCIES, TO OBTAIN ACCURATE FIELD LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES.

UTILITY	OWNER	TELEPHONE
CABLE	SPECTRUM 3691 TURNER ROAD DAYTON, OH 45415	(937)-296-3699
ELECTRIC	DAYTON POWER & LIGHT 1500 ORCHARD ROAD DAYTON, OH 45439	(937)-331-4240
TELEPHONE	AT&T 3333 WOODMAN DR DAYTON, OH 45420	(937)-296-3899
GAS	VECTREN 6500 CLOY ROAD DAYTON, OH 45426	(937)-312-2533
SEWER	CITY OF BROOKVILLE 301 SYCAMORE STREET BROOKVILLE, OHIO 45309	(937) 883-2125
STORM SEWER	CITY OF BROOKVILLE 301 SYCAMORE STREET BROOKVILLE, OHIO 45309	(937) 883-2125
WATER MAINS	CITY OF BROOKVILLE 301 SYCAMORE STREET BROOKVILLE, OHIO 45309	(937) 883-2125

- THE OWNER OF THE UNDERGROUND UTILITY SHALL, WITHIN 48 HOURS, EXCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, AFTER NOTICE IS RECEIVED, STAKE, MARK OR OTHERWISE DESIGNATE THE LOCATION OF THE UNDERGROUND UTILITY FACILITIES IN THE APPROXIMATE DEPTH AT WHICH THEY WERE INSTALLED. THE MARKING OR LOCATING SHALL BE COORDINATE TO STAY APPROXIMATELY TWO DAYS AHEAD OF THE PLANNED CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORKFORCE.
- 8) THE CONTRACTOR SHOULD NOTE THAT NOT ALL UTILITY AGENCIES ARE MEMBERS OF THE OHIO UTILITY PROTECTION SERVICE, AND WILL NEED TO BE NOTIFIED DIRECTLY.
 - 9) ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 30 DAYS SHALL BE SEEDING WITHIN 3 DAYS.
 - 10) ANY VARIANCE BETWEEN THESE PLANS AND WHAT IS FOUND IN THE FIELD OR DURING CONSTRUCTION SHOULD BE ADDRESSED TO THE ENGINEER IN CHARGE OF THE PROJECT.
 - 11) ALL STREET SURFACES, DRIVEWAYS, CURBS AND CUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - 12) TRAFFIC CONTROL, ON ALL PUBLIC ROADS IS REQUIRED TO CONFORM TO "THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 - 13) SAFETY REQUIREMENTS OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
 - 14) WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT ITEM.
 - 15) THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION INCLUDING PERFORMING ALL WORK IN RIGHT OF WAY AND ON-SITE. CONTRACT THE BUILDING DEPT. FOR A LIST.
 - 16) CITY OF BROOKVILLE STANDARD DRAINAGE ARE TO BE CONSIDERED PART OF THESE PLANS.
 - 17) IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
 - 18) THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.

90 MOSIER PARKWAY
BROOKVILLE
MONTGOMERY COUNTY, OHIO 45309



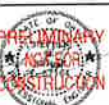
VICINITY MAP
NOT SCALE



INDEX OF SHEETS

TITLE SHEET	C1 0
TOPOGRAPHIC AND BOUNDARY SURVEY	C2 0
DEMOLITION PLAN	C2 1
SITE & UTILITY PLAN	C3 0
GRADING PLAN	C4 0
SWPPP	C5 0
SWPPP DETAILS	C5 1
DRAINAGE PLAN	C6 0
SITE DETAILS	C7 0
BROOKVILLE STANDARD DETAILS	C7 1
BROOKVILLE STANDARD DETAILS	C7 2

Sheet No.



PROJECT:
Planning No. 101823

THE VISIONS

CLIENT
ADDITION TO THE
BROOKVILLE FAMILY CARE
90 MOSIER PKWY
BROOKVILLE, OHIO 45309



ARCHITECT

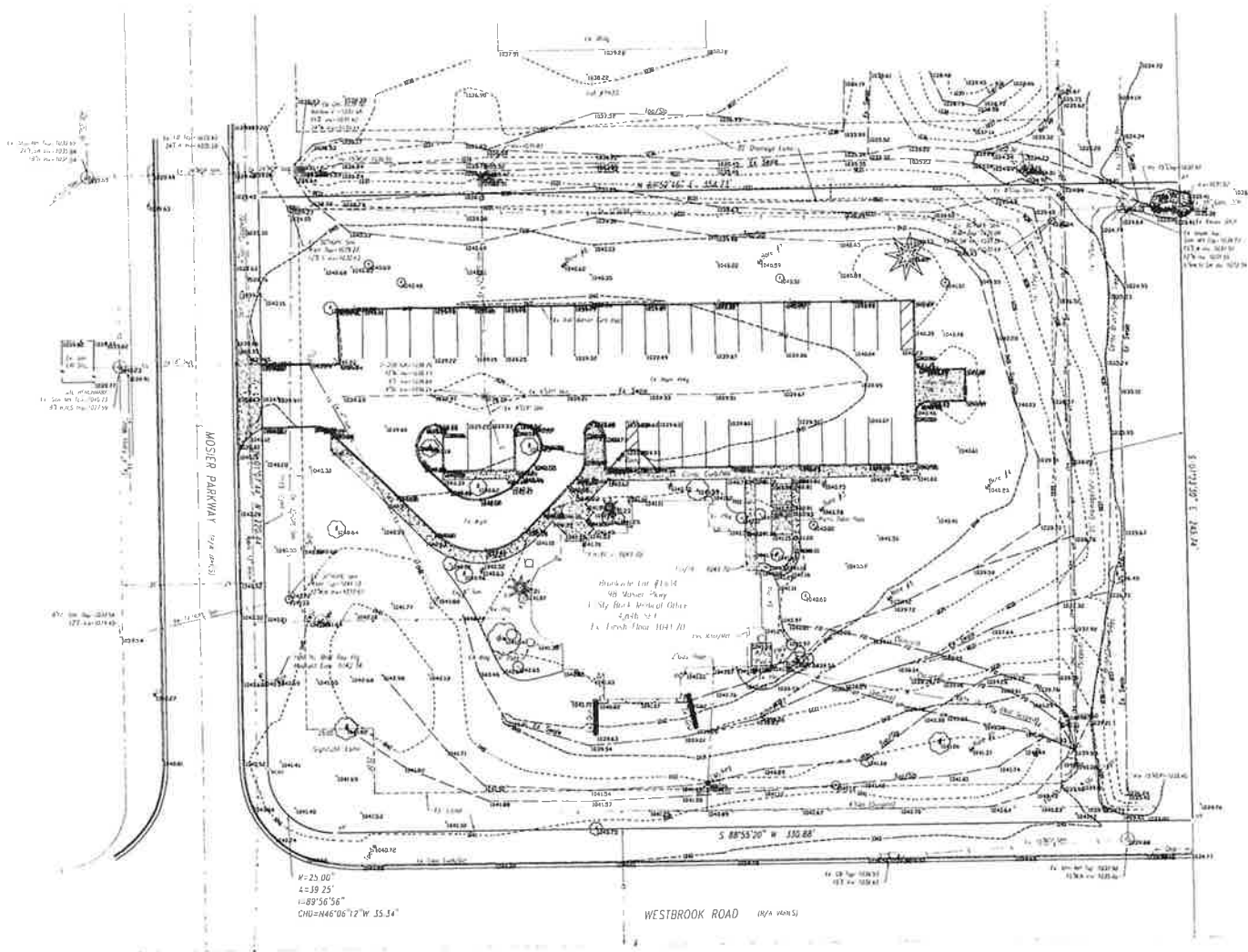
DATE:
10-04-2024
DESIGNED BY:
KCI
CHECKED BY:
KCI
PROJECT NO.
24-00000000-001-00000000



Copyright 2024 All rights reserved. Community Civil Engineers, LLC

C1.0

LOT RETRACEMENT & TOPOGRAPHIC SURVEY
SB MOSIER PARKWAY
LOT #1934
CITY OF BROOKVILLE,
AKA BROOKVILLE INDUSTRIAL PARK, SECTION FOUR
PLAT BOOK 160, PAGE 46
MONTGOMERY COUNTY, OHIO
2.000 ACRES

[illegible]

1. **IDENTIFY**
 2. **IDENTIFY** **THE** **PROBLEM**
 3. **IDENTIFY** **THE** **PROBLEM**
 4. **IDENTIFY** **THE** **PROBLEM**
 5. **IDENTIFY** **THE** **PROBLEM**
 6. **IDENTIFY** **THE** **PROBLEM**
 7. **IDENTIFY** **THE** **PROBLEM**
 8. **IDENTIFY** **THE** **PROBLEM**
 9. **IDENTIFY** **THE** **PROBLEM**
 10. **IDENTIFY** **THE** **PROBLEM**
 11. **IDENTIFY** **THE** **PROBLEM**
 12. **IDENTIFY** **THE** **PROBLEM**
 13. **IDENTIFY** **THE** **PROBLEM**
 14. **IDENTIFY** **THE** **PROBLEM**
 15. **IDENTIFY** **THE** **PROBLEM**
 16. **IDENTIFY** **THE** **PROBLEM**
 17. **IDENTIFY** **THE** **PROBLEM**
 18. **IDENTIFY** **THE** **PROBLEM**
 19. **IDENTIFY** **THE** **PROBLEM**
 20. **IDENTIFY** **THE** **PROBLEM**
 21. **IDENTIFY** **THE** **PROBLEM**
 22. **IDENTIFY** **THE** **PROBLEM**
 23. **IDENTIFY** **THE** **PROBLEM**
 24. **IDENTIFY** **THE** **PROBLEM**
 25. **IDENTIFY** **THE** **PROBLEM**
 26. **IDENTIFY** **THE** **PROBLEM**
 27. **IDENTIFY** **THE** **PROBLEM**
 28. **IDENTIFY** **THE** **PROBLEM**
 29. **IDENTIFY** **THE** **PROBLEM**
 30. **IDENTIFY** **THE** **PROBLEM**
 31. **IDENTIFY** **THE** **PROBLEM**
 32. **IDENTIFY** **THE** **PROBLEM**
 33. **IDENTIFY** **THE** **PROBLEM**
 34. **IDENTIFY** **THE** **PROBLEM**
 35. **IDENTIFY** **THE** **PROBLEM**
 36. **IDENTIFY** **THE** **PROBLEM**
 37. **IDENTIFY** **THE** **PROBLEM**
 38. **IDENTIFY** **THE** **PROBLEM**
 39. **IDENTIFY** **THE** **PROBLEM**
 40. **IDENTIFY** **THE** **PROBLEM**
 41. **IDENTIFY** **THE** **PROBLEM**
 42. **IDENTIFY** **THE** **PROBLEM**
 43. **IDENTIFY** **THE** **PROBLEM**
 44. **IDENTIFY** **THE** **PROBLEM**
 45. **IDENTIFY** **THE** **PROBLEM**
 46. **IDENTIFY** **THE** **PROBLEM**
 47. **IDENTIFY** **THE** **PROBLEM**
 48. **IDENTIFY** **THE** **PROBLEM**
 49. **IDENTIFY** **THE** **PROBLEM**
 50. **IDENTIFY** **THE** **PROBLEM**
 51. **IDENTIFY** **THE** **PROBLEM**
 52. **IDENTIFY** **THE** **PROBLEM**
 53. **IDENTIFY** **THE** **PROBLEM**
 54. **IDENTIFY** **THE** **PROBLEM**
 55. **IDENTIFY** **THE** **PROBLEM**
 56. **IDENTIFY** **THE** **PROBLEM**
 57. **IDENTIFY** **THE** **PROBLEM**
 58. **IDENTIFY** **THE** **PROBLEM**
 59. **IDENTIFY** **THE** **PROBLEM**
 60. **IDENTIFY** **THE** **PROBLEM**
 61. **IDENTIFY** **THE** **PROBLEM**
 62. **IDENTIFY** **THE** **PROBLEM**
 63. **IDENTIFY** **THE** **PROBLEM**
 64. **IDENTIFY** **THE** **PROBLEM**
 65. **IDENTIFY** **THE** **PROBLEM**
 66. **IDENTIFY** **THE** **PROBLEM**
 67. **IDENTIFY** **THE** **PROBLEM**
 68. **IDENTIFY** **THE** **PROBLEM**
 69. **IDENTIFY** **THE** **PROBLEM**
 70. **IDENTIFY** **THE** **PROBLEM**
 71. **IDENTIFY** **THE** **PROBLEM**
 72. **IDENTIFY** **THE** **PROBLEM**
 73. **IDENTIFY** **THE** **PROBLEM**
 74. **IDENTIFY** **THE** **PROBLEM**
 75. **IDENTIFY** **THE** **PROBLEM**
 76. **IDENTIFY** **THE** **PROBLEM**
 77. **IDENTIFY** **THE** **PROBLEM**
 78. **IDENTIFY** **THE** **PROBLEM**
 79. **IDENTIFY** **THE** **PROBLEM**
 80. **IDENTIFY** **THE** **PROBLEM**
 81. **IDENTIFY** **THE** **PROBLEM**
 82. **IDENTIFY** **THE** **PROBLEM**
 83. **IDENTIFY** **THE** **PROBLEM**
 84. **IDENTIFY** **THE** **PROBLEM**
 85. **IDENTIFY** **THE** **PROBLEM**
 86. **IDENTIFY** **THE** **PROBLEM**
 87. **IDENTIFY** **THE** **PROBLEM**
 88. **IDENTIFY** **THE** **PROBLEM**
 89. **IDENTIFY** **THE** **PROBLEM**
 90. **IDENTIFY** **THE** **PROBLEM**
 91. **IDENTIFY** **THE** **PROBLEM**
 92. **IDENTIFY** **THE** **PROBLEM**
 93. **IDENTIFY** **THE** **PROBLEM**
 94. **IDENTIFY** **THE** **PROBLEM**
 95. **IDENTIFY** **THE** **PROBLEM**
 96. **IDENTIFY** **THE** **PROBLEM**
 97. **IDENTIFY** **THE** **PROBLEM**
 98. **IDENTIFY** **THE** **PROBLEM**
 99. **IDENTIFY** **THE** **PROBLEM**
 100. **IDENTIFY** **THE** **PROBLEM**

[illegible][illegible]

CERTIFICATION

THEY WERE NOT IN THE BOUNDARY SURVEY OR THE
SURVEY WAS MADE IN ACCORDANCE WITH THE ACQUISITION
FORM APRIL 1933 OF STANDARD FIRE BOUNDARY SURVEY.
ALL INFORMATION IS ON THE 1933 SURVEY.

NOTE!

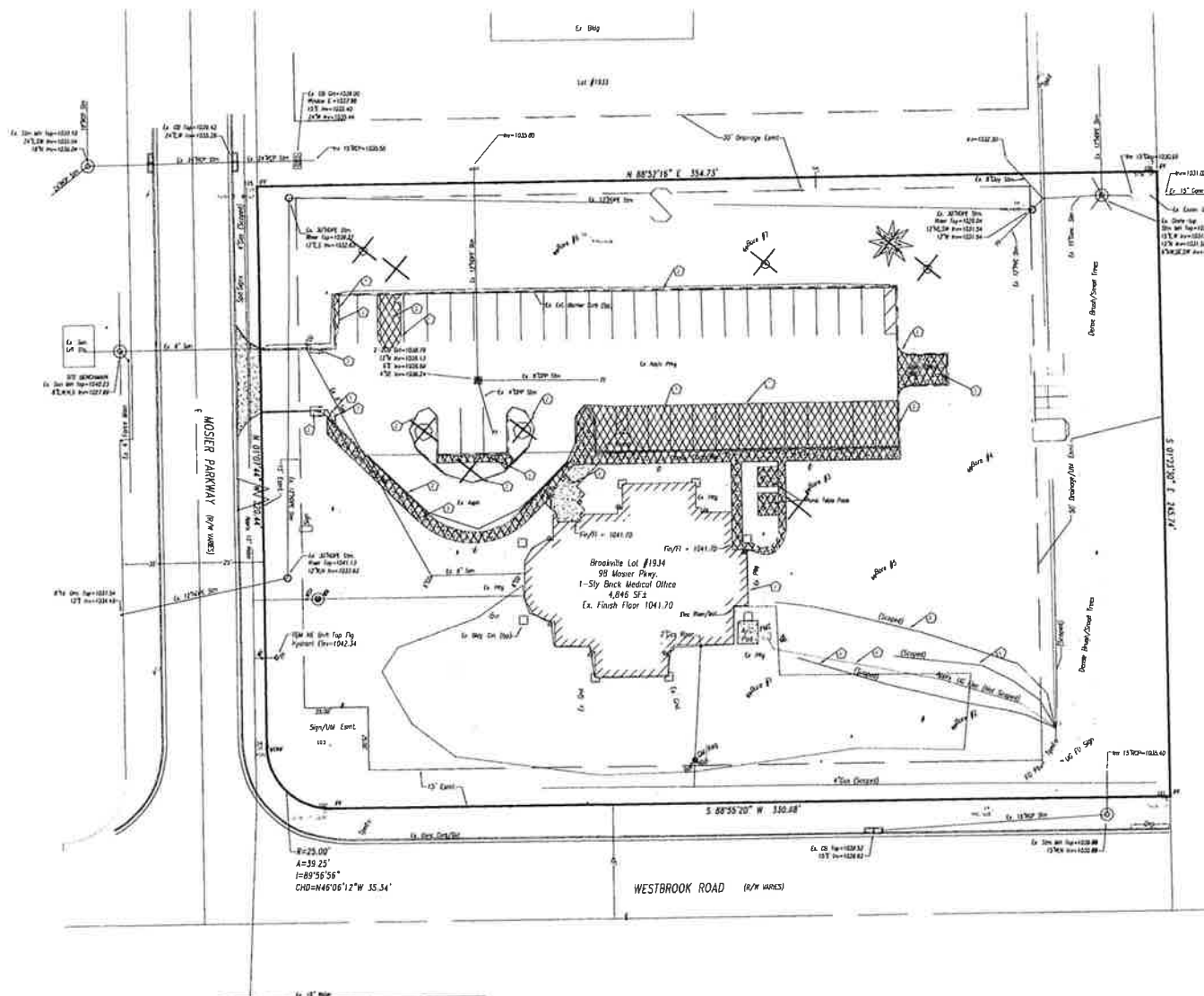
NOTE:
EXISTING UNDERGROUND UTILITIES AND SERVICES ARE SHOWN IN
THEIR APPROXIMATE LOCATIONS ACCORDING TO ABOVE GROUND FIELD
SURVEY OBSERVATIONS AND UTILITY PLANS PROVIDED THE SURVEYOR ON
THE LOCATIONS SHOWN ARE INTENDED ONLY AS A GUIDE AND CANNOT
GUARANTEED ACCURATE OR COMPLETE THE FOLLOWING 48 HOUR
KNOWN TO CONSTRUCTION TO THESE LOCAL UTILITIES

OHIO UTILITIES PROTECTION SERVICE

811



LUIS G. RIANCHO & ASSOCIATES, INC.
SUNSHINE
JOB # 24246 SEP 2024
DRAWING 24246T01.DWG PLOT DATE 09/14/2024



PRINTED
Planning Map: 10410

REVISIONS

CLIENT
ADDITION TO THE
BROOKVILLE FAMILY CARE
99 MOSER PKWY
BROOKVILLE, OH 43009

DEMOLITION LEGEND

- SAWCUT
- REMOVE CURB
- REMOVE ASPHALT/CONCRETE INCL. BASE
- SEE ARCHITECT PLANS FOR DEMOLITION AT BUILDING
- PROTECT EXISTING CONCRETE
- COORDINATE RELOCATION/REMOVAL OF UTILITY WITH UTILITY COMPANY
- ⊠ REMOVE ASPHALT/CONCRETE
- ✕ REMOVE TREE/SHRUB
- DEMOLITION LIMITS

EXISTING PLAN NOTES

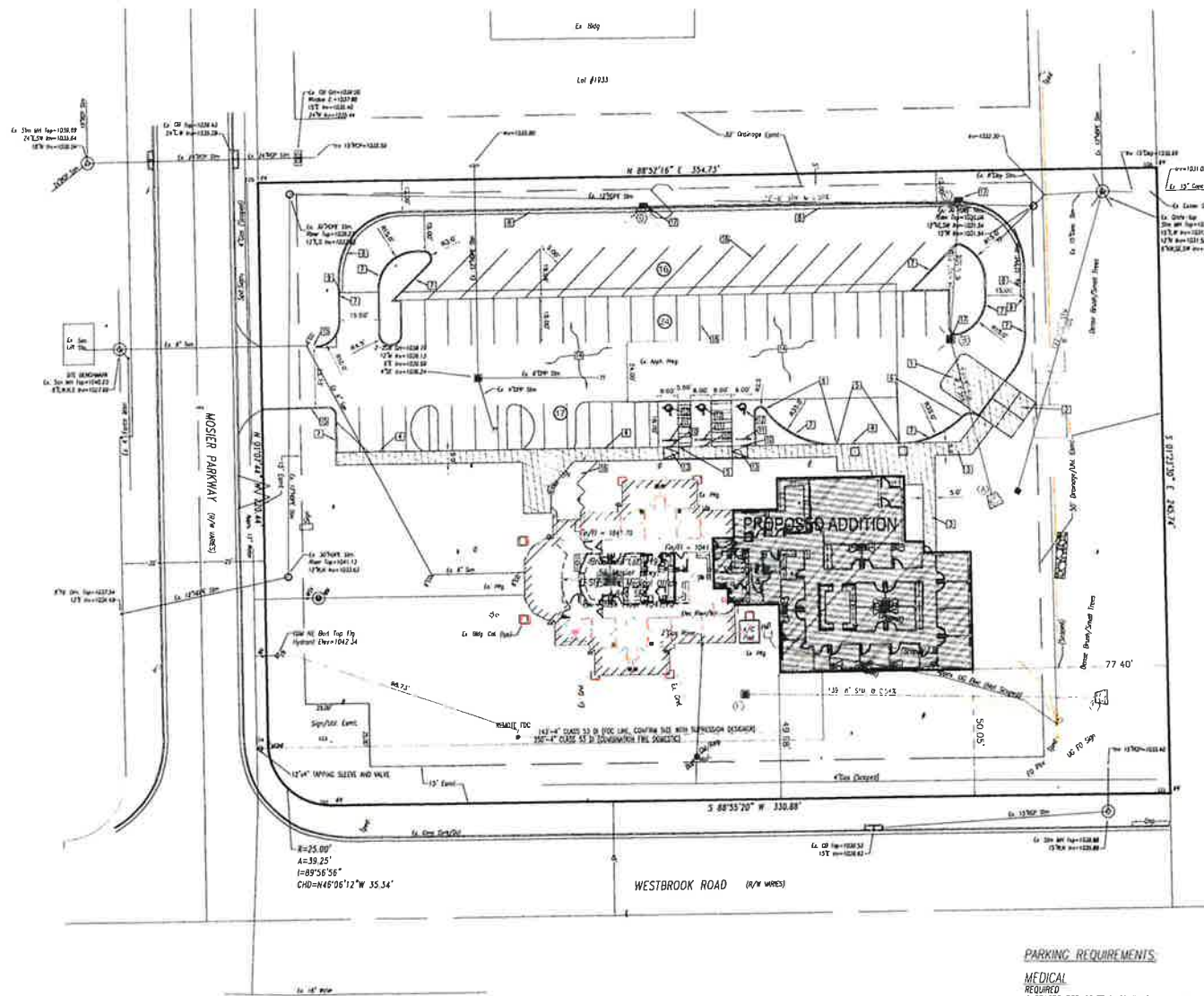
- 1) CONTRACTOR SHALL COORDINATE LOCATING OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK.
- 2) NOTE: SOME UTILITIES MAYBE CONSIDERED TO BE PRIVATE AND WILL NOT BE LOCATED BY CALLING OUPS
- 3) AFTER THE INSTALLATION OF UTILITIES THE GROUND SHALL BE RETURNED TO ITS ORIGINAL CONDITION
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF WASTE MATERIAL LEGALLY
- 5) DUE TO LACK OF RECORDS AVAILABLE ASSUMPTIONS HAVE HAD TO BE MADE ON THE LOCATION OF SOME UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARISE
- 6) CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE TRADERS FOR SAWCUT WIDTHS IF NECESSARY
- 7) CONTRACTOR SHALL CALL OUPS PRIOR TO BREAKING GROUND, AND NON MEMBER UTILITY COMPANIES DIRECTLY
- 8) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS APPLICABLE TO ALLOW DEMOLITION AND WORK IN RIGHT-OF-WAY
- 9) CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BREAKING GROUND
- 10) CONTRACTOR SHALL REMOVE CONCRETE WALK AND CURB FROM JOINT TO JOINT
- 11) BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY LUIS G. RANCHO & ASSOCIATES, INC. (937)836-1585



[C:\2018\10410\ 10410.dwg] 10/24/2018 10:41:00 AM C:\2018\10410\ 10410.dwg

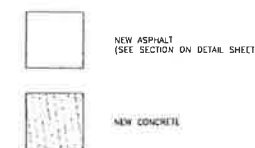
ARCHITECT
(S&P)
10-06-2024
LAWRENCE
KOL
LISE LINDLEY
SMB
PROJECT 10410
21-A-10410-10410-10410

C2.1



KEYNOTES

- DUMPSITE APRON
- DUMPSITE ENCLOSURE (SEE ARCH PLANS)
- SIDEWALK
- INTEGRAL CURB AND SIDEWALK
- CURB DEPRESSIONED & FLUSH WITH ASPHALT
- GRADUAL REVEAL OF CURB 0' TO 6'
- BARKER CURB
- 1'-9" CURB AND CUTTER
- TRANSITION FROM BARKER CURB TO CURB AND CUTTER
- PARKING BLOCK
- ACCESSIBLE PARKING SIGN (SEE DETAIL)
- CURB RAMP 1:12 MAX SLOPE
- INTERNATIONAL HANDCAP SYMBOL (BLUE) & STRIPING
- SLURRY SEAL EXISTING ASPHALT AND RE-STRIPE PARKING
- THE CURB IN TO EXISTING CURB
- PROTECT EXISTING CONCRETE
- CATCH BASIN WITH FINGER DRAINS
- 4" WHITE PER 0001 ITEM 642



UTILITY NOTES

- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES, MEP & ARCH PLANS TO DETERMINE QUANTITY, SIZE AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
- CLEAN OUTS LOCATED IN PAVED AREAS SHALL BE TRAFFIC RATED AND BE FLUSH WITH THE SURFACE.
- CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO INSTALL UTILITIES.
- CONTRACTOR SHALL REFER TO DETAIL SHEET FOR TRENCHING DETAILS.
- REFER TO CITY OF BROOKVILLE STANDARD DRAINAGES AND SPECIFICATION FOR UTILITY CONNECTION AND GENERAL SITE DETAILS.
- FINGER DRAINS SHALL BE INSTALLED ON CATCH BASINS IN PAVED AREAS.
- ALL UTILITIES SHALL BE BURIED.

- UTILITY COMPANY NOTES:
1. THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
- THE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING AND BACKFILL, NECESSARY FOR PROPER INSTALLATION. UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER UTILITY COMPANIES.
- THE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR UTILITY CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
- CONTRACTOR SHALL VERIFY THE METER AND TRANSFORMER LOCATIONS WITH A.E.S.

STORM SCHEDULE

SW #1 100' x 100' x 100' IN BY 10/25/00 (R)	SW #2 100' x 100' x 100' IN BY 10/25/00 (R)
SW #3 100' x 100' x 100' IN BY 10/25/00 (R)	SW #4 100' x 100' x 100' IN BY 10/25/00 (R)
SW #5 100' x 100' x 100' IN BY 10/25/00 (R)	SW #6 100' x 100' x 100' IN BY 10/25/00 (R)
SW #7 100' x 100' x 100' IN BY 10/25/00 (R)	SW #8 100' x 100' x 100' IN BY 10/25/00 (R)
SW #9 100' x 100' x 100' IN BY 10/25/00 (R)	SW #10 100' x 100' x 100' IN BY 10/25/00 (R)

PARKING REQUIREMENTS

MEDICAL REQUIRED
3 SPACES PER SUIT LOCATION OR VISITING DOCTOR PLUS
1 SPACE PER EMPLOYEE
PROPOSED
5 SUIT DOCTORS PLUS
23 EMPLOYEES TOTAL
PARKING REQUIRED 15 + 23 SPACES = 38 SPACE
HANDICAP PARKING REQUIRED = 2
PARKING PROVIDED: 57 INCL 3 HANDICAP SPACES



© 2004 PROLOG 1024 All Rights Reserved Community Engineering LLC

STORM SEWER NOTES

- ALL STORM SEWERS IN OR ENTERING RIGHT OF WAY SHALL BE CONCRETE CL IV OTHERWISE USE HOPE OR ENGINEER APPROVED EQUAL
- CATCH BASINS IN PAVED AREAS SHALL HAVE FINGER DRAINS, SEE DETAIL SHEET

WATER SERVICE NOTES

- CONTRACTOR SHALL MAINTAIN 4.5' COVER OVER THE WATER LINE
- CONTRACTOR SHALL MAINTAIN 18" MIN. CLEARANCE AROUND OTHER UTILITIES
- CONTRACTOR SHALL INSTALL LINE PER BROOKVILLE RULES AND REGULATIONS

SITE NOTES

- DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED
- HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS DETECTABLE WARNING SHALL BE INSTALLED PER ADA REGULATIONS
- CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN AND DIMENSIONS
- ALL WALLS AND SLABS AT ENTRY/EXIT DOORS SHALL BE FLUSH UP TO A MAX. OF 1/2" BELOW THE THRESHOLD WITH A 1:20 SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 5'
- ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC
- ALL CONCRETE SLABS EXPOSED TO VEHICULAR TRAFFIC SHALL HAVE A 18" CHAMFER AT CORNERS



PLANNING MGR. 10/1/01

HI VISIONS

CLIENT
ADDITION TO THE
BROOKVILLE FAMILY CARE
88 MOORE ST. PARKWAY
BROOKVILLE, OH 45009



ARCHITECT

DATE

10-04-2024

THANAN RAY

REVISION

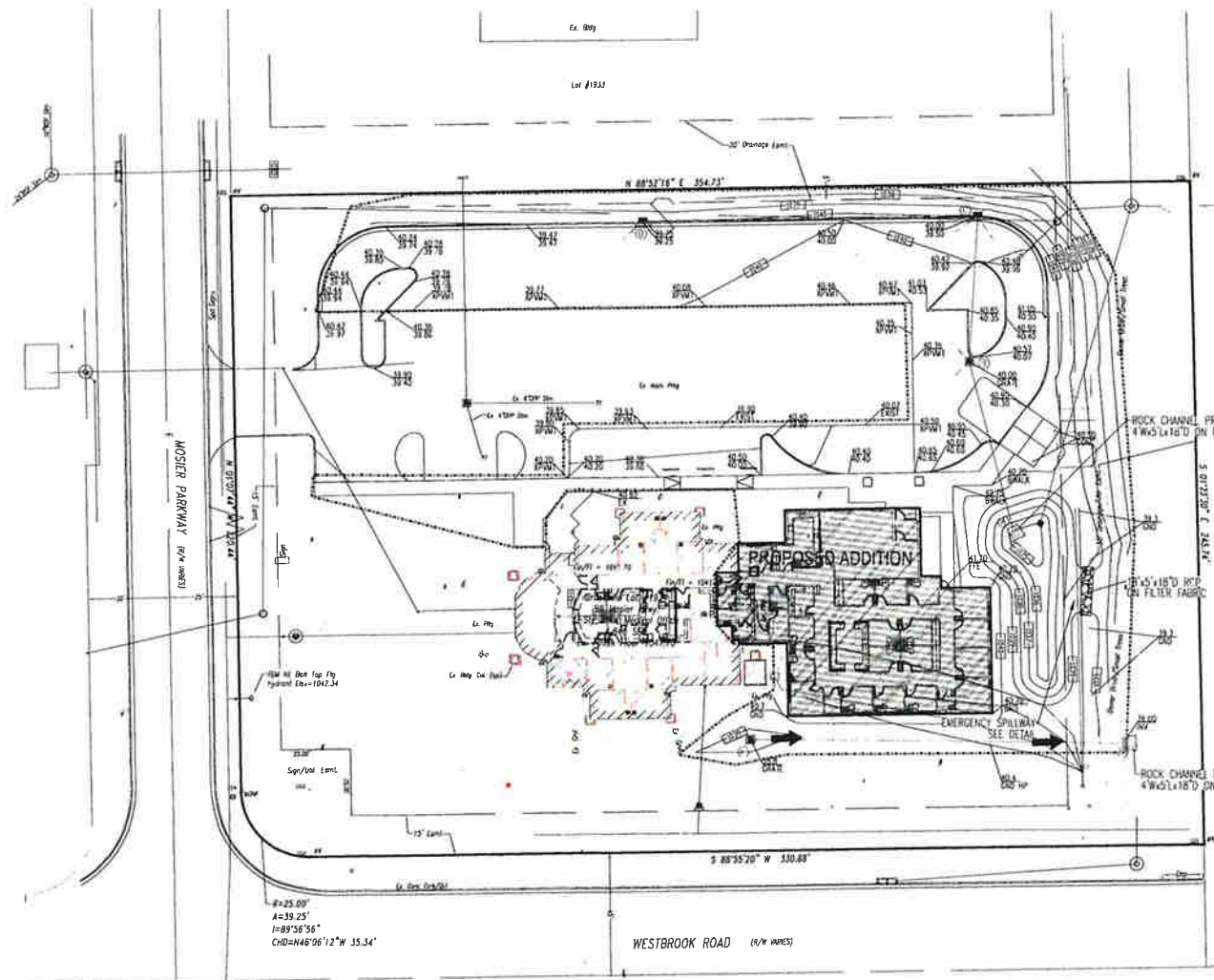
C3.0 C3.0 BY

SMO

PROJECT CT NO.

SCA 10/24/24 C3.0 24/04/24

C3.0



GRADING NOTES:

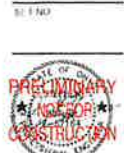
- BEFORE STARTING GRADING OPERATIONS, SEE SIDEWALK POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPP).
- PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SEDIMENT FROM LEAVING THE SITE AT ALL TIMES.
- STUMP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOIL, STOCKPILE SUITABLE TOPSOILS FOR REUSE/SPREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STOPPING AND TOPSOIL REQUIREMENTS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN. SEE THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SOILS, FILLING OR DISPOSING OF MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT, THE SITE DRAINAGE, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
- ALL GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DISCREPANCIES ON GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH ADJUSTMENT HAS NOT BEEN DONE.
- ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 90% OF STANDARD PROCTOR MAXIMUM DRY DENSITY FOR A 2'x1'x1' TEST 0-8" MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE, NOR 2% BELOW OPTIMUM. THE PROJECT ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. PROJECT ENGINEER OF ANY UNDESIRABLE SOILS ARE FOUND.
- EMBANKMENT SHALL BE COMPACTED AND PLACED IN LAYERS AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, PRIOR TO INSTALLATION OF STREAM SEWER.
- THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE GEOTECHNICAL ENGINEER, IMMEDIATELY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS IS THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS OUTLINED FROM THOSE ANTICIPATED IN THE PLANS AND SPECIFICATIONS AND DISCLOSED BY THE SOILS STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTICED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
- PRIOR TO THE CONSTRUCTION OF THE SEWER SEWER AND GRADING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES CONFLICT WITH THE PROPOSED CONSTRUCTION.
- FOLLOWING GRADING OF SLOPES, TO SUBGRADE ELEVATIONS, THE CONTRACTOR SHALL PLACE TOPSOIL TO A 4" DEPTH IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED OR IN THE PLANTING AREA. SLOPES SHALL BE SLOPED TO MEET SURROUNDING LAND AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREENED PRIOR TO REUSE/SPREADING. TOPSOIL SHALL BE FREE OF SPECIAL, WEEDS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HAVING IN PLACE WILL NOT BE FORTIFIED. ALL EXCESS TOPSOIL SHALL BE LEGALLY Hauled OFF SITE.
- ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRONG, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.
- SLOPE BUILDING SIDEWALK AWAY FROM THE BUILDING AT A MAXIMUM OF 1:28 (UNLESS OTHERWISE INDICATED).
- CONTRACTOR SHALL SEAL ALL ASPHALT JOINTS WHERE ASPHALT MEETS CONCRETE WITH HOT AC.
- CONTRACTOR SHALL SEAL CRACKS, PERMITS AS REQUIRED TO BE DONE ON ROAD-UP-AND.
- CONTRACTOR SHALL NOTIFY ENGINEER AT COMMUNITY CIVIL ENGINEERS (833-400-8980) OF ANY DISCREPANCIES ON IF UNCERTAIN ON ANY ITEMS.

GRADING LEGEND

- 66.50' EXISTING GRADE
- 62.00' TOP OF CURB
- 62.50' PAVEMENT GRADE
- 61.00' SPOT GRADES ON PAVEMENT/CONC/TOB
- OVERLAND DRAINAGE FLOW DIRECTION
- 100 YEAR FLOOD ROUTING
- WORK LIMIT
- PAVEMENT
- CONC.
- HIGH POINT
- GROUND
- BACK OF SIDEWALK
- BACK OF CURB
- INVERT
- TOP OF WALL
- BOTTOM OF WALL



© 2014 CDEP-1011 10/14 All rights reserved. Created by Engineering & Construction



PRINTING
Planning May 10/14/21

HI VISIBILITY

CLIENT
ADDITION TO THE
BROOKVILLE FAMILY CARE
PAVING & PAVING
BROOKVILLE, OH 43007



ARCHITECT
DATE
10/14/2021
DRAWN BY
RCJ
CHECKED BY
SMB
PROJECT NO.
SCL 3870-24 C4.0 7/1/2021

C4.0



© 2014 All rights reserved. Cambridge and Engineers LLC

C5.0

A. Timing of Sediment-Trapping Practices

Sediment control practices shall be functional throughout earth-disturbing activity.

Setting facilities, perimeter controls, and other practices intended to trap sediment shall be implemented as the first step of grading and within seven (7) days from the start of earth disturbing activities. They shall continue to function until the upslope development area is restabilized.

B. Stabilization of Denuded Areas

Denuded areas shall have soil stabilization applied within seven days if they are to remain dormant for more than fourteen (14) days. Permanent or temporary soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site, and shall also be applied within seven (7) days to denuded areas which may not be of final grade, but will remain dormant (undisturbed) for longer than forty-five (45) days.

C. Setting Facilities

Concentrated stormwater runoff from denuded areas shall pass through a sediment-setting facility.

The facility's storage capacity shall be sixty-seven (67) cubic yards per acre of drainage area.

D. Sediment Barriers

Sheet flow runoff from denuded areas shall be filtered or diverted to a setting facility.

Sediment barriers such as sediment fence or diversions to setting facilities shall protect adjacent properties and water resources from sediment transported by sheet flow.

E. Storm Sewer Inlet Protection

All storm sewer inlets which accept water runoff from the development area shall be protected so that sediment-laden water from areas that are not permanently stabilized will not enter the storm sewer system without first being filtered or otherwise treated to remove sediment, unless the storm sewer system drains to a setting facility.

F. Working in or Crossing Streams

1. Streams including bed and banks shall be restabilized immediately after in-channel work is completed, interrupted, or stopped.

To the extent practicable, construction vehicles shall be kept out of streams. Where in-channel work is necessary, precautions shall be taken to stabilize the work area during construction to minimize erosion.

2. If a live (not) stream must be crossed by construction vehicles regularly during construction, a temporary stream crossing shall be provided.

G. Construction Access Routes

Measures shall be taken to prevent soil transport onto surfaces where runoff is not checked by sediment controls, or onto public roads.

H. Staging and Stumping

1. No soil, rock, debris, or any other material shall be dumped or placed into a water resource or into such proximity that it may readily abrade, via, or wedge into a water resource unless such dumping or placing is authorized by the approving agency, and, when applicable, the U.S. Army Corps of Engineers, for such purposes as, but not limited to, construction bridges, culverts, and erosion control structures.

2. Unstable soils prone to slumping or landsliding shall not be graded, excavated, filled or have roads imposed upon them unless the work is done in accordance with a qualified professional engineer's recommendations to correct, eliminate, or adequately address the problems.

I. Cut and Fill Slopes

Cut and fill slopes shall be designed and constructed in a manner which will minimize erosion. Consideration shall be given to the length and steepness of the slope, soil type, upslope drainage area, groundwater conditions, and slope stabilization.

J. Stabilization of Outlets and Channels

Outlets and constructed or modified channels shall be designed and constructed to withstand the expected velocity of flow from a post-development, ten-year frequency storm or critical year storm whichever is greater without eroding.

K. Establishment of permanent Vegetation

A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized.

Permanent vegetation shall not be considered established until ground cover is achieved which, in the opinion of the approving agency, provides adequate cover and is mature enough to control soil erosion satisfactorily and to survive adverse weather conditions.

L. Disposition of Temporary Practices

All temporary erosion and sediment control practices shall be disposed of within thirty (30) days after final site stabilization is achieved or after the temporary practices are no longer needed, unless otherwise authorized by the approving agency. Trapped sediment shall be permanently stabilized to prevent further erosion.

M. Maintenance

All temporary and permanent erosion and sediment control practices shall be designed and constructed to minimize maintenance requirements. They shall be maintained and repaired as needed to assure continued performance of their intended function. The person or entity responsible for the continued maintenance of permanent erosion controls shall be identified to the satisfaction of the approving agency.



INSPECTION SCHEDULE

EROSION AND STRUCTURAL MEASURES - WILL BE INSPECTED AT SEVEN (7) DAY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF

SEDIMENT AND PONDS - WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION

VEGETATIVE PLANTING - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL

REPAIRS - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.

MOWING - DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.

FERTILIZATION - SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.

SEDIMENT AND EROSION CONTROL FOR COMPLIANCE WITH OPA'S INDIVIDUAL LOT PERMIT FOR CONSTRUCTION

PRELIMINARY EROSION CONTROL

Whenever possible, preserve existing trees, shrubs and other vegetation.

To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation.

STRAW BARRIERS

Put up before any other work is done.

Install on downslope side(s) of site with ends extended up upslopes a short distance.

Place parallel to the contour of the land to allow water to pond behind fence.

Entrench 6 inches deep (see back page).

Slake (2 slopes per pole or 1 stake every 3 feet for slit fence).

Leave no gaps between poles or sections of slit fence.

Inspect and repair once a week and after every 1/2 inch rain.

Remove sediment if deposits reach half the fence or straw pole height.

Maintain until a lawn is established.

SOD PLANTS

Located away from any downslope street, driveway, stream, lake welland, ditch or drainageway.

Temporary seed such as annual rye is recommended for topsoil piles.

Surround with straw bales or slit fence.

GRAVEL DRIVE

Install a single access drive using 3 to 5 inch aggregate over a geotextile material.

Lay gravel 6 inches deep and 10 feet wide from the foundation to the street.

Use to prevent tracking dirt onto the road by all vehicles.

Maintain throughout construction until driveway is paved.

Park all construction vehicles on the street and off of the site.

SEDIMENT CONTROL

By the end of each work day, sweep or scrape up soil tracked onto the road.

By the end of the next work day after a storm, clean up soil washed off-site, and check straw bales and slit fence for damage or sediment buildup.

TOPOSOIL

Disturbed soils shall be stabilized as quick as practicable with temporary vegetation and/or mulching to protect exposed critical areas during development.

Temporary mulch is to be applied at the rate of 2-3 bales of straw per 1000 sq. ft.

SEEDING AND MULCHING

Spread 4 to 6 inches of topsoil.

Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer).

Seed with an appropriate mix for the site (see table).

Mulch lightly to cover seed with 1/4" of soil. Rake lightly.

Mulch with straw (2-3 bales per 1000 sq. ft.) from March 15 to August 31.

Anchor mulch by punching 2 inches into the soil with a flat weighted disk or by using netting or other measures on steep slopes and windy areas.

CONCRETE

Spread 4 to 6 inches of topsoil.

Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer).

Lightly water the soil.

Lay sod.

On slopes, lay sod starting at the bottom and work towards the top. Peg each piece down in several places.

Initial watering should wet soil 6 inches deep (or until water stands 1 inch deep in a straight-sided container). Then water lightly every day or two for 2 weeks.

If construction is completed after August 31, seeding or sodding may be delayed. Applying mulch or temporary seed (such as rye or winter wheat) is required from September 1 to March 15. Straw bales or slit fences must be maintained until final seeding is completed in spring March 15 - May 31.

CONSTRUCTION

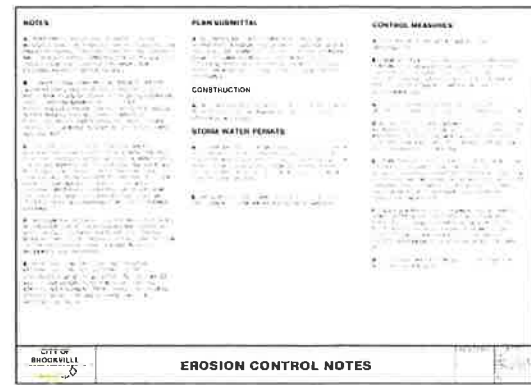
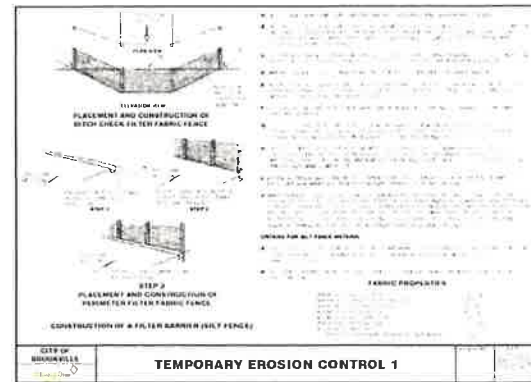
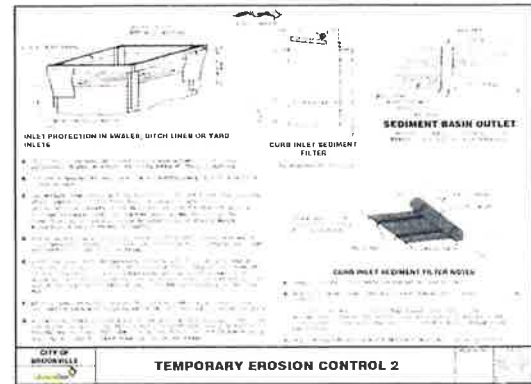
Placement and construction of sediment filter fabric fence.

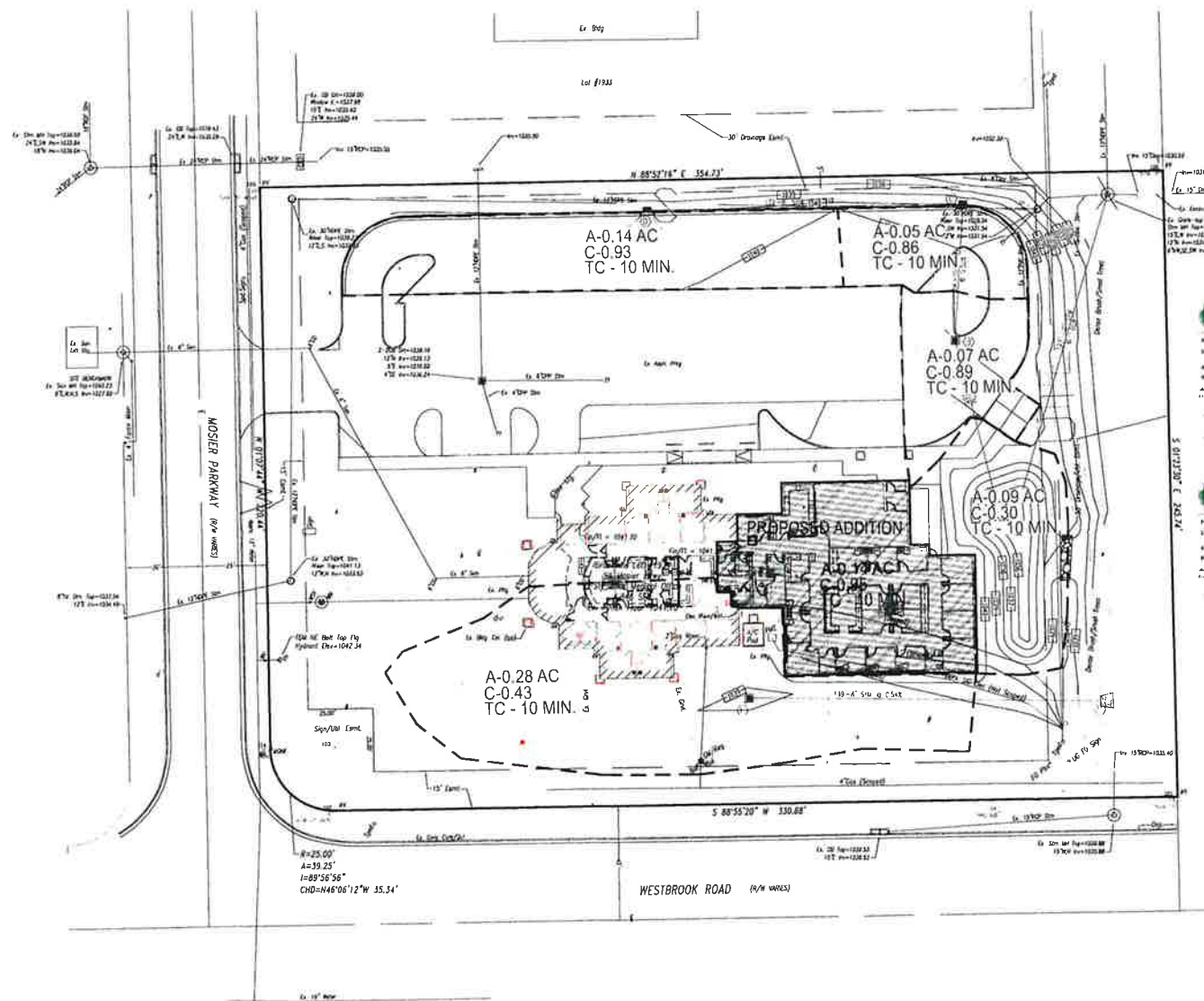
Construction of a filter barrier (slit fence).

TEMPORARY EROSION CONTROL 1

TEMPORARY EROSION CONTROL 2

EROSION CONTROL NOTES





STORM SEWER SYSTEM

NO.	Date	Project	Drawn by	Checked by	Reviewed by
1	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
2	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
3	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
4	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
5	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
6	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
7	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
8	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
9	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
10	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith

STORM SEWER SYSTEM

NO.	Date	Project	Drawn by	Checked by	Reviewed by
1	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
2	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
3	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
4	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
5	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
6	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
7	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
8	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
9	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith
10	10/10/10	Brookville Family Care Addition	J. Smith	J. Smith	J. Smith

STORM SCHEDULE

STW #	STW #
STW #1	STW #2
PRE-100 PLUMBING	HAUL TRUCK
NO. 1000 (8)	NO. 1000 (8)
STW #3	STW #4
CONCRETE	CONCRETE
NO. 1000 (8)	NO. 1000 (8)
STW #5	STW #6
CONCRETE	CONCRETE
NO. 1000 (8)	NO. 1000 (8)
STW #7	STW #8
CONCRETE	CONCRETE
NO. 1000 (8)	NO. 1000 (8)
STW #9	STW #10
CONCRETE	CONCRETE
NO. 1000 (8)	NO. 1000 (8)

SEE 100



J. SMITH
Professional Engineer
No. 100000

THE VENDOR

CLIENT
BROOKVILLE FAMILY CARE
98 MOORE DRIVE
BROOKVILLE, OH 45007



ARCHITECT

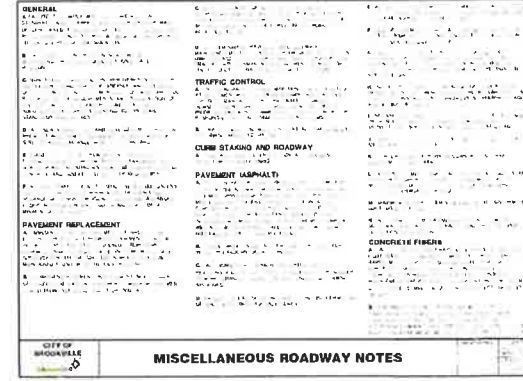
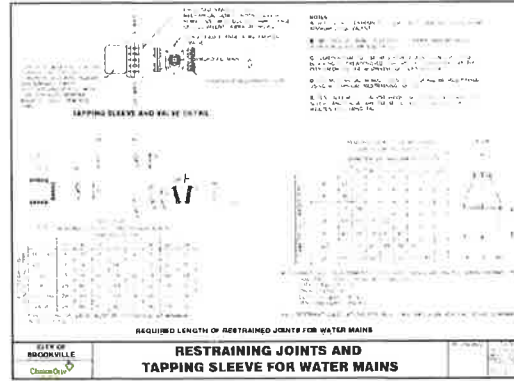
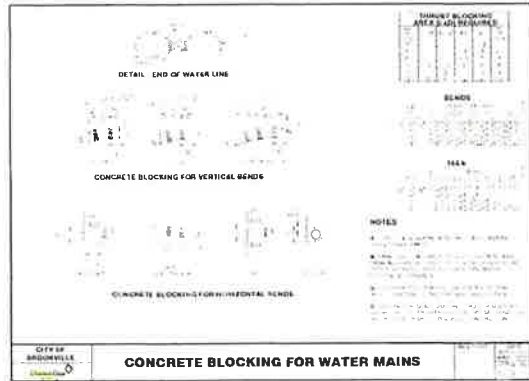
DATE
10-04-2010
DESIGNED BY
KCI
CHECKED BY
SAH
PROJECT NO.
10-04-2010

C6.0



© 2010 C6.0 All Rights Reserved. Community Civil Engineers, LLC





30.1.563



INSPECTOR
Planning Mgr. 10/4/24

REVISIONS

CLIENT
ADDITION TO THE
BROOKVILLE FAMILY CARE
98 MOSER PKWY
BROOKVILLE, OH 45009



ARCHITECT

DATE

10-04-2024

DRAWN BY

KOL

CHEKED BY

SMH

PROJECT NO.

SA 2670-24 1 24 564

C7.2